



Ryan Leidner
Architecture

3602 20th St.
San Francisco, CA 94110
415.689.8044
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SITE PLAN /
ROOF PLAN

A0

CODE INFORMATION

APPLICABLE CODES:
2019 CALIFORNIA BUILDING CODE
2019 CALIFORNIA MECHANICAL CODE
2019 CALIFORNIA ELECTRICAL CODE
2019 CALIFORNIA PLUMBING CODE
2019 CALIFORNIA ENERGY CODE
2019 SAN FRANCISCO MUNICIPAL AND ZONING CODES

GENERAL NOTES

1. ALL CONSTRUCTION SHALL COMPLY WITH 2019 CALIFORNIA BUILDING CODE, 2019 CALIFORNIA PLUMBING CODE, 2019 CALIFORNIA MECHANICAL CODE, 2019 CALIFORNIA ELECTRICAL CODE AND OTHER APPLICABLE SECTIONS OF THE SAN FRANCISCO MUNICIPAL CODE.
2. VERIFY ALL EXISTING DIMENSIONS AND CONDITIONS ON SITE.
3. ANY ERRORS, OMISSIONS, DISCREPANCIES, AMBIGUITIES, OR CONFLICTS IN THE CONSTRUCTION DOCUMENTS SHALL BE REPORTED TO THE ARCHITECT FOR CLARIFICATION BEFORE PROCEEDING WITH THE WORK.
4. THE INSTALLATION OF ALL SPECIFIED MATERIAL INCLUDING THE PREPARATION OF SURFACES, SHALL CONFORM TO THE MATERIAL MANUFACTURE'S SPECIFICATIONS AND RECOMMENDATIONS.
5. CONTRACTOR SHALL PROVIDE ADEQUATE SHORING AND BRACING WHERE REQUIRED.
6. METHODS OF DEMOLITION SHALL BE DEVISED BY THE CONTRACTOR BUT WITHIN THE REQUIREMENTS OF ALL APPLICABLE CODES AND LOCAL ORDINANCES.
7. THE DESIGN, ADEQUACY, AND SAFETY OF ERECTING, BRACING, SHORING, TEMPORARY SUPPORTS, ETC., IS THE SOLE RESPONSIBILITY OF THE CONTRACTOR AND HAS NOT BEEN CONSIDERED BY THE ARCHITECT.
8. THE CONTRACTOR SHALL PROVIDE SAFE AND ADEQUATE BRACES AND CONNECTIONS TO SUPPORT THE COMPONENT PARTS OF THE STRUCTURE, UNTIL THE STRUCTURE ITSELF (INCLUDING THE ROOF AND FLOOR DIAPHRAGMS) IS COMPLETE ENOUGH TO ADEQUATELY SUPPORT ITSELF.

CAL GREEN REFERENCES

1. 4.106.2 STORM WATER DRAINAGE AND RETENTION DURING CONSTRUCTION. A PLAN IS DEVELOPED AND IMPLEMENTED TO MANAGE STORM WATER DRAINAGE DURING CONSTRUCTION.
2. 4.106.3 GRADING AND PAVING. CONSTRUCTION PLANS SHALL INDICATE HOW SITE GRADING OR A DRAINAGE SYSTEM WILL MANAGE ALL SURFACE WATER FLOWS KEEP WATER FROM ENTERING BUILDINGS.
3. 5.201.1 SCOPE BUILDING MEETS OR EXCEEDS THE REQUIREMENTS OF THE CALIFORNIA BUILDING ENERGY EFFICIENCY STANDARDS
4. 4.303.1 WATER CONSERVING PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES (WATER CLOSETS AND URINALS) AND FITTINGS (FAUCETS AND SHOWERHEADS) INSTALLED IN RESIDENTIAL BUILDINGS SHALL COMPLY WITH THE PRESCRIPTIVE REQUIREMENTS OF SECTIONS 4.303.1.1 THROUGH 4.303.1.4.4.
5. 4.303.2 STANDARDS FOR PLUMBING FIXTURES AND FITTINGS. PLUMBING FIXTURES AND FITTINGS REQUIRED IN SECTION 4.303.1 SHALL BE INSTALLED IN ACCORDANCE WITH THE CALIFORNIA PLUMBING CODE, AND SHALL MEET THE APPLICABLE REFERENCED STANDARDS.
6. 4.304.1. IRRIGATION CONTROLLERS. AUTOMATIC IRRIGATION SYSTEMS CONTROLLERS INSTALLED AT THE TIME OF FINAL INSPECTION SHALL BE WEATHER OR SOIL MOISTURE-BASED.
7. 4.406.1 RODENT PROOFING. ANNULAR SPACES AROUND PIPES, ELECTRIC CABLES, CONDUITS OR OTHER OPENINGS IN SOLE/BOTTOM PLATES AT EXTERIOR WALLS SHALL BE PROTECTED AGAINST THE PASSAGE OF RODENTS BY CLOSING SUCH OPENINGS WITH CEMENT MORTAR, CONCRETE MASONRY OR A SIMILAR METHOD ACCEPTABLE TO THE ENFORCING AGENCY
8. 4.408.1 CONSTRUCTION WASTE MANAGEMENT. RECYCLE AND/OR SALVAGE FOR REUSE A MINIMUM OF 50 PERCENT OF THE NONHAZARDOUS CONSTRUCTION AND DEMOLITION WASTE IN ACCORDANCE WITH ONE OF THE FOLLOWING:
 1. COMPLY WITH A MORE STRINGENT LOCAL CONSTRUCTION AND DEMOLITION WASTE MANAGEMENT ORDINANCE; OR
 2. A CONSTRUCTION WASTE MANAGEMENT PLAN, PER SECTION 4.408.2; OR
 3. A WASTE MANAGEMENT COMPANY, PER SECTION 4.408.3; OR
 4. THE WASTE STREAM REDUCTION ALTERNATIVE, PER SECTION 4.408.4.
9. 4.410.1 OPERATION AND MAINTENANCE MANUAL. AN OPERATION AND MAINTENANCE MANUAL SHALL BE PROVIDED TO THE BUILDING OCCUPANT OR OWNER.
10. 4.503.1 FIREPLACE. ANY INSTALLED GAS FIREPLACE SHALL BE A DIRECT-VENT SEALED-COMBUSTION TYPE. ANY INSTALLED WOODSTOVE OR PELLET STOVE SHALL COMPLY WITH U.S. EPA PHASE II EMISSION LIMITS WHERE APPLICABLE. WOODSTOVES, PELLET STOVES AND FIREPLACES SHALL ALSO COMPLY WITH APPLICABLE LOCAL ORDINANCES.
11. 4.504.1 COVERING OF DUCT OPENINGS AND PROTECTION OF MECHANICAL EQUIPMENT DURING CONSTRUCTION. DUCT OPENINGS AND OTHER RELATED AIR DISTRIBUTION COMPONENT OPENINGS SHALL BE COVERED DURING CONSTRUCTION. 4.504.2.1 ADHESIVES, SEALANTS AND CAULKS. ADHESIVES, SEALANTS AND CAULKS SHALL BE COMPLIANT WITH VOC AND OTHER TOXIC COMPOUND LIMITS. 4.504.2.2 PAINTS AND COATINGS. PAINTS, STAINS AND OTHER COATINGS SHALL BE COMPLIANT WITH VOC LIMITS. 4.504.2.3 AEROSOL PAINTS AND COATINGS. AEROSOL PAINTS AND COATINGS SHALL BE COMPLIANT WITH PRODUCT WEIGHTED AIR LIMITS FOR VOC AND OTHER TOXIC COMPOUNDS. 4.504.2.4 VERIFICATION. DOCUMENTATION SHALL BE PROVIDED TO VERIFY THAT COMPLIANT VOC LIMIT FINISH MATERIALS HAVE BEEN USED. 4.504.3 CARPET SYSTEMS. CARPET AND CARPET SYSTEMS SHALL BE COMPLIANT [8] 0 0 0 WITH VOC LIMITS. 4.504.4 RESILIENT FLOORING SYSTEMS. 80% OF FLOOR AREA RECEIVING RESILIENT FLOORING SHALL COMPLY WITH THE VOC-EMISSION LIMITS DEFINED IN THE COLLABORATIVE FOR HIGH PERFORMANCE SCHOOLS (CHPS) HIGH PERFORMANCE PRODUCTS DATABASE OR BE CERTIFIED UNDER THE RESILIENT FLOOR COVERING INSTITUTE (RFCI) FLOORSCORE PROGRAM; OR MEET CALIFORNIA DEPT OF PUBLIC HEALTH, "STANDARD METHOD FOR THE TESTING AND EVALUATION OF VOLATILE ORGANIC CHEMICAL EMISSIONS FROM INDOOR SOURCES USING ENVIRONMENTAL CHAMBERS", VERSION 1T, FEBRUARY 2010 (ALSO KNOWN AS SPECIFICATION 01350). 4.504.5 COMPOSITE WOOD PRODUCTS. PARTICLEBOARD, MEDIUM DENSITY FIBERBOARD (MDF) AND HARDWOOD PLYWOOD USED IN INTERIOR FINISH SYSTEMS SHALL COMPLY WITH LOW FORMALDEHYDE EMISSION STANDARDS.
12. 4.505.2 CONCRETE SLAB FOUNDATIONS. VAPOR RETARDER AND CAPILLAR BREAK IS INSTALLED AT SLAB-ON-GRADE FOUNDATIONS. 4.503.3 MOISTURE CONTENT OF BUILDING MATERIALS. MOISTURE CONTENT OF BUILDING MATERIALS USED IN WALL AND FLOOR FRAMING IS CHECKED BEFORE ENCLOSURE.
13. 4.507.2 HEATING AND AIR-CONDITIONING SYSTEM DESIGN. DUCT SYSTEMS ARE SIZED, DESIGNED, AND EQUIPMENT IS SELECTED USING THE FOLLOWING METHODS:
 1. ESTABLISH HEAT LOSS AND HEAT GAIN VALUES ACCORDING TO ANSI ACCA
 2. MANUAL J-2004 OR EQUIVALENT SIZE DUCT SYSTEMS ACCORDING TO ANSI ACCA 1
 3. MANUAL D-2009 OR EQUIVALENT.
 3. SELECT HEATING AND COOLING EQ
14. 702.1 INSTALLER TRAINING. HVAC SYSTEM INSTALLERS ARE TRAINED AND CERTIFIED IN THE PROPER INSTALLATION OF HVAC SYSTEMS. 702.2 SPECIAL INSPECTION. SPECIAL INSPECTORS EMPLOYED BY THE ENFORCING AGENCY MUST BE QUALIFIED AND ABLE TO DEMONSTRATE COMPETENCE IN THE DISCIPLINE THEY ARE INSPECTING. 703.1 DOCUMENTATION. VERIFICATION OF COMPLIANCE WITH THIS CODE MAY INCLUDE CONSTRUCTION DOCUMENTS, PLANS, SPECIFICATIONS BUILDER OR INSTALLER CERTIFICATION, INSPECTION REPORTS, OR OTHER METHODS ACCEPTABLE TO THE ENFORCING AGENCY WHICH SHOW SUBSTANTIAL CONFORMANCE.

PROJECT ADDRESS

2859 22ND ST
SAN FRANCISCO, CA 94110
BLOCK/LOT: 4148/032

PROJECT INFORMATION

OWNER: MOLLY ANDERSON & SIMON LAMASON
2600 16TH ST, SUITE 15
SAN FRANCISCO, CA 94110
PH: (415) 215-7072

SCOPE OF WORK

1. CHANGE OF USE AND CHANGE OF OCCUPANCY FROM RELIGIOUS BUILDING TO MULTI-FAMILY RESIDENTIAL.
2. DEMOLISH (E) BUILDING IN ORDER TO BUILD A (N) 3-STORY, 3-UNIT, WOOD FRAMED BUILDING.

BUILDING DATA & PLANNING CALCULATIONS

ZONING: RH-3, RESIDENTIAL THREE FAMILY
OCCUPANCY: CURRENT: A-3 - RELIGIOUS BUILDING
PROPOSED: MULTI-FAMILY RESIDENCE
CONSTRUCTION TYPE: MASONRY
HEIGHT & BULK: 40-X
PLANNING DISTRICT: DISTRICT 8 - MISSION
HISTORIC RESOURCE: TYPE C - NO HISTORIC RESOURCE PRESENT

SQUARE FOOTAGE CALCS

EXISTING BUILDING

FIRST FLOOR: 4,750 SF

TOTAL EXISTING: 4,750 SF

PROPOSED BUILDING

UNIT 1: 825 SF
UNIT 2: 1,668 SF
UNIT 3: 698 SF
COMMUNAL SPACE: 675 SF

TOTAL LIVING: 3,866 SF
GARAGE: 690 SF

TOTAL PROPOSED: 4,556 SF

LOT COVERAGE

LOT AREA: 4,750 SF

(E) LOT COVERAGE: 4,750 SF / 4,750 SF = 100%

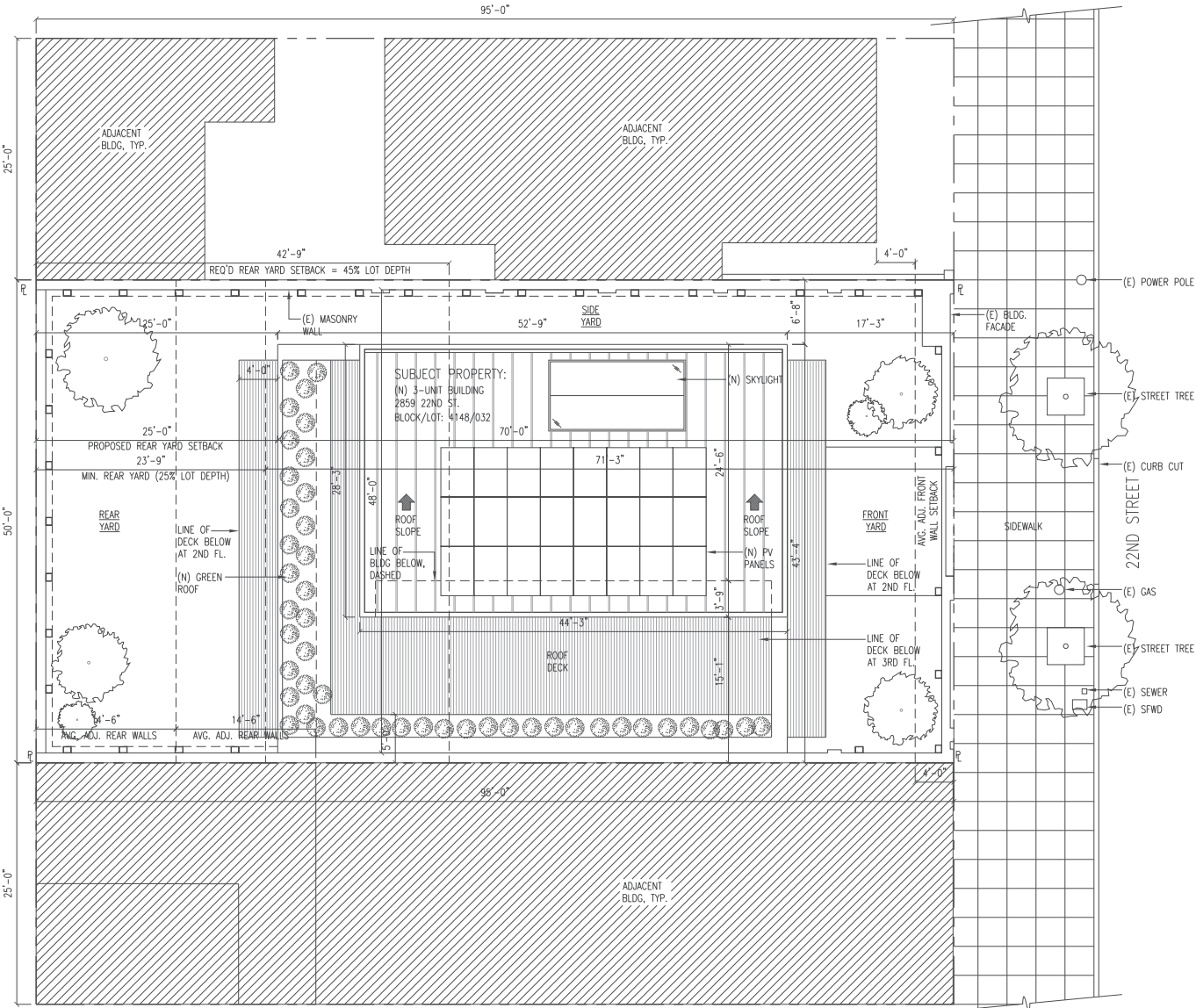
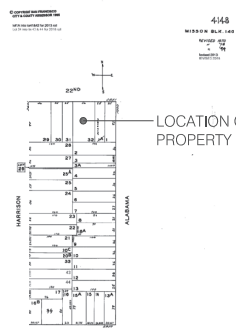
(N) LOT COVERAGE: 2,075 SF / 4,750 SF = 43%

TOTAL: 2,675 LESS SF COVERAGE / -57% CHANGE

SHEET INDEX

A0 SITE PLAN/ROOF PLAN - PROPOSED
A1.0 FLOOR PLANS - EXISTING/DEMO
A2.0 FLOOR PLANS - PROPOSED
A2.1 FLOOR PLANS - PROPOSED
A2.2 FLOOR PLANS - PROPOSED
A3.0 SECTIONS - EXISTING AND PROPOSED
A4.0 ELEVATIONS - EXISTING
A4.1 ELEVATIONS - PROPOSED

ASSESSOR'S MAP

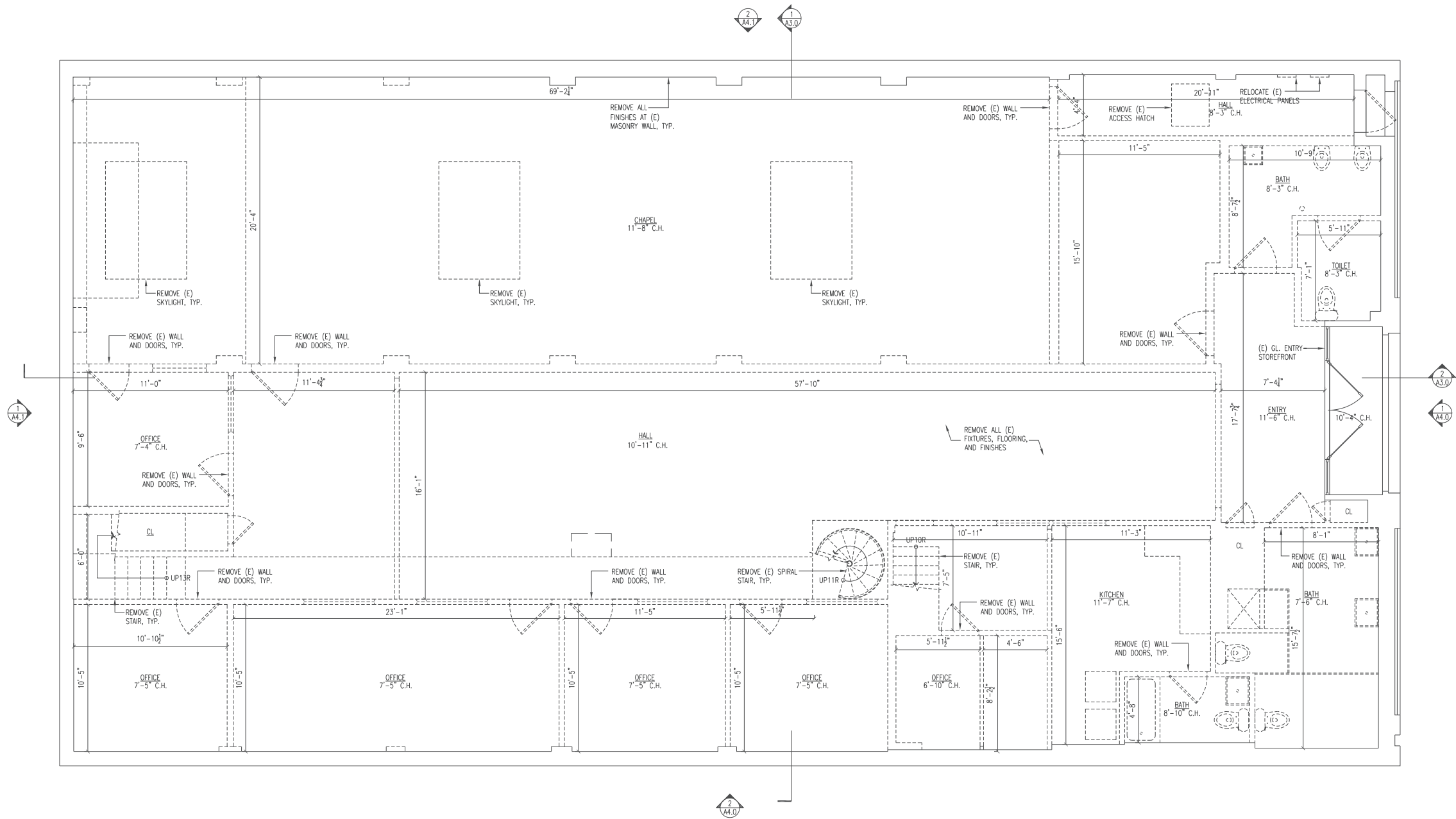


1 SITE PLAN / ROOF PLAN - PROPOSED
1/8" = 1'-0"



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FLOOR PLANS
EXISTING/DEMO

A1.0

1 GROUND FLOOR PLAN - EXISTING/DEMO

$\frac{1}{4}" = 1'-0"$

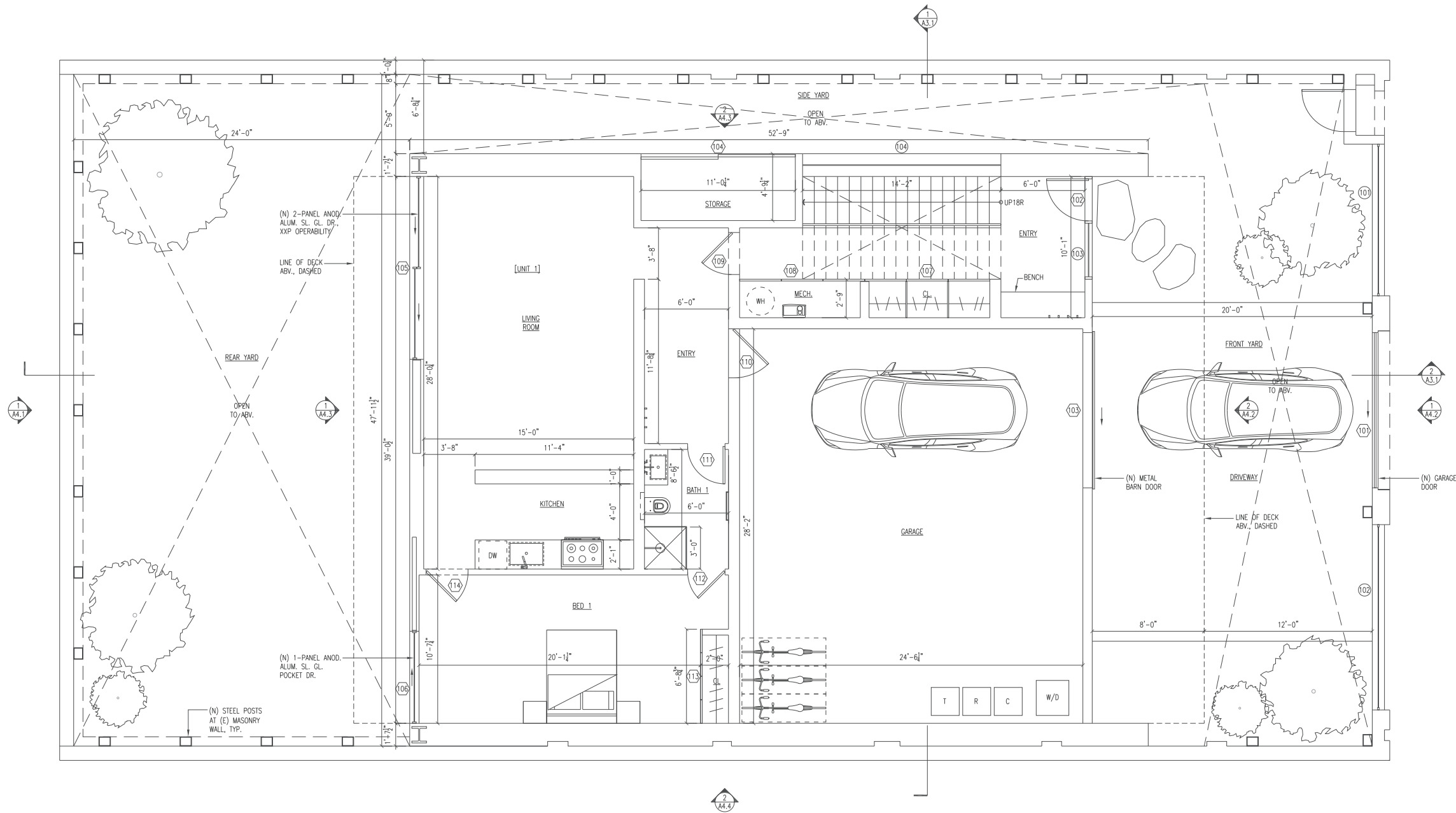
(APPROX. 4750 SF)





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1 FIRST FLOOR PLAN - PROPOSED
1/4" = 1'-0"



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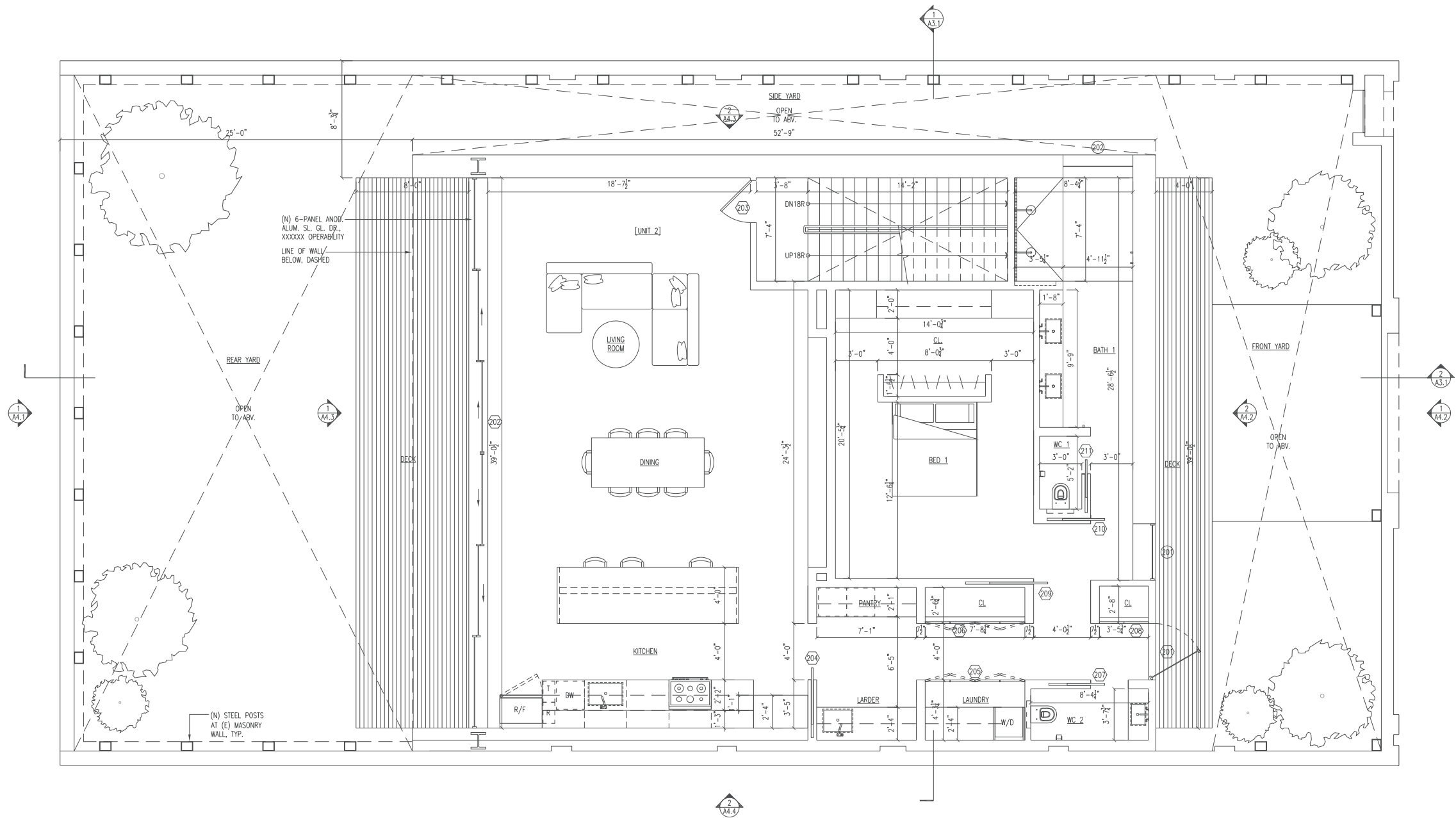
FLOOR PLANS
PROPOSED

A2.0



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1 SECOND FLOOR PLAN - PROPOSED
1/4" = 1'-0"



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FLOOR PLANS
PROPOSED

A2.1



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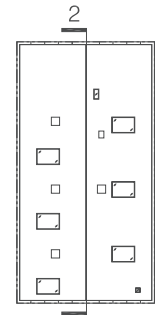
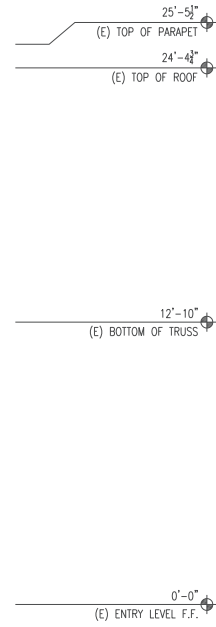
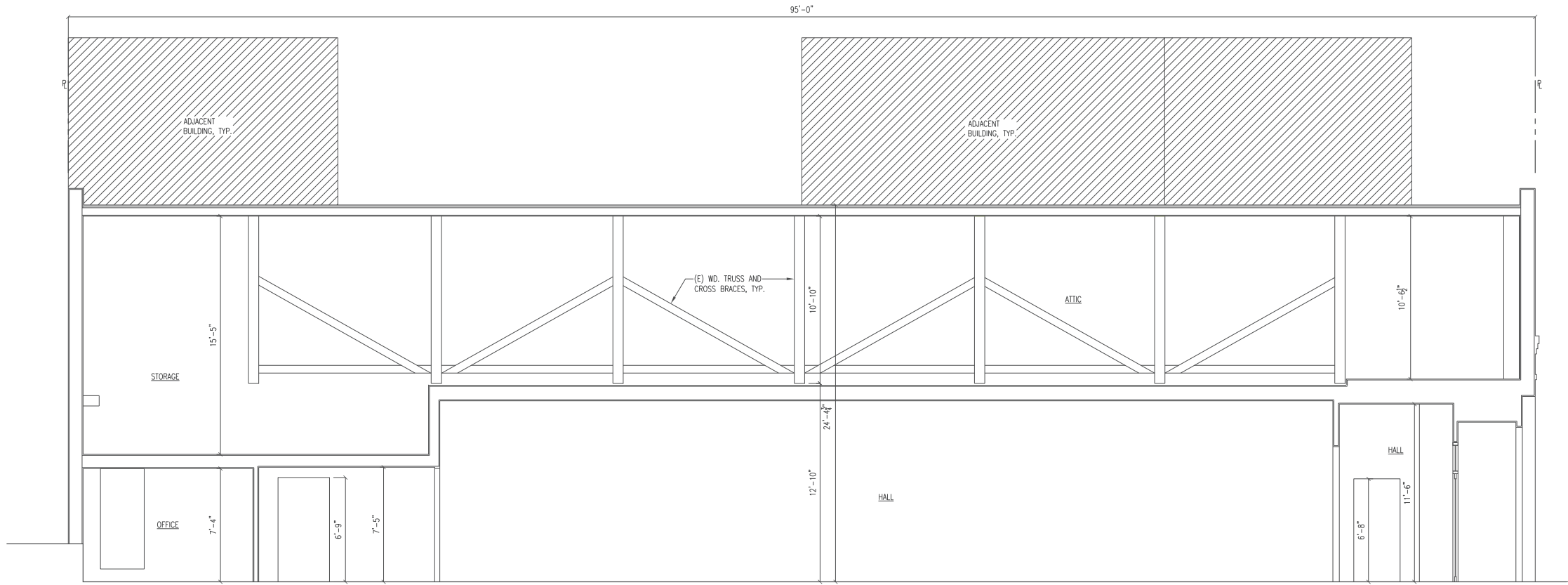
FLOOR PLANS
PROPOSED

A2.2

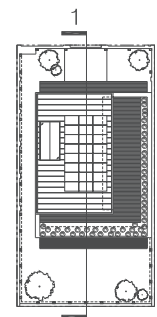
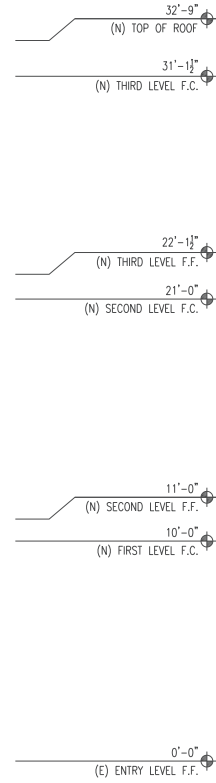
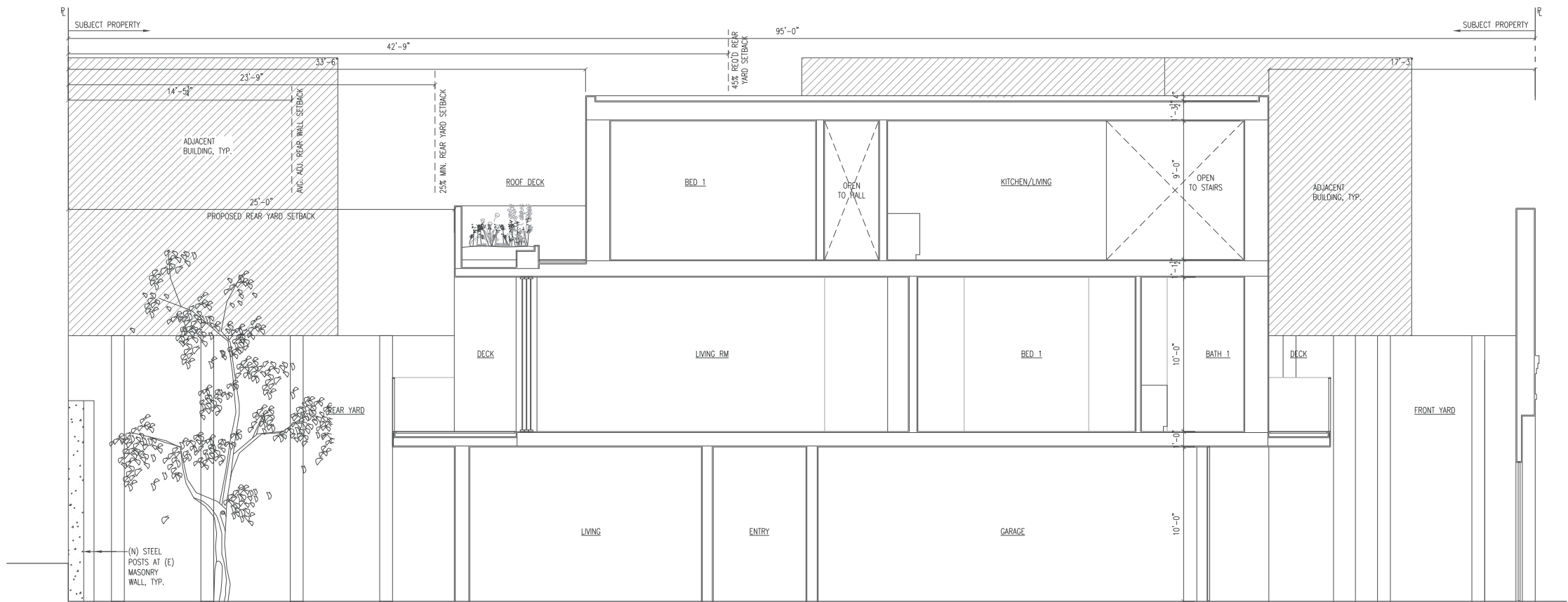
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1 THIRD FLOOR PLAN - PROPOSED
1" = 1'-0"



2 LONGITUDINAL SECTION - EXISTING
3/4" = 1'-0"



1 LONGITUDINAL SECTION - PROPOSED
3/4" = 1'-0"



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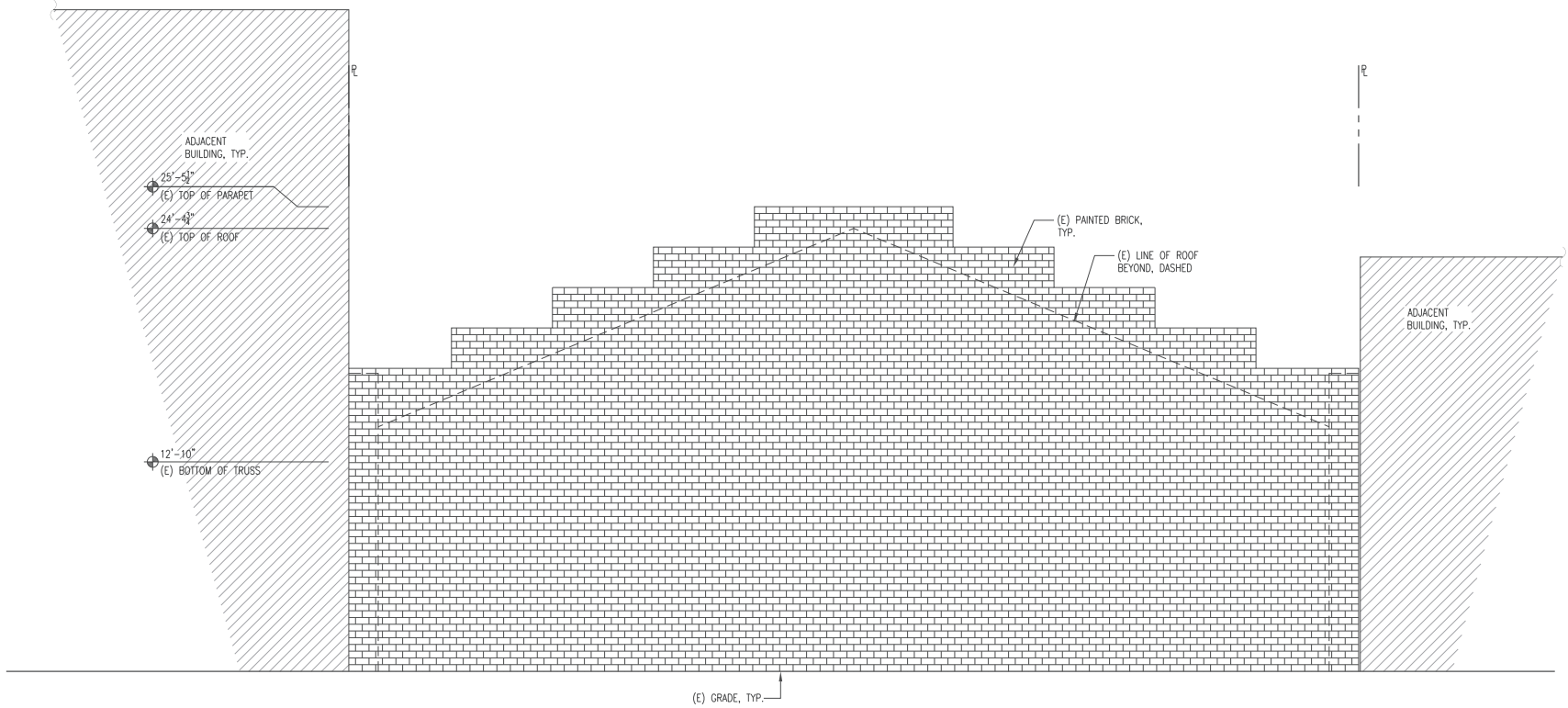


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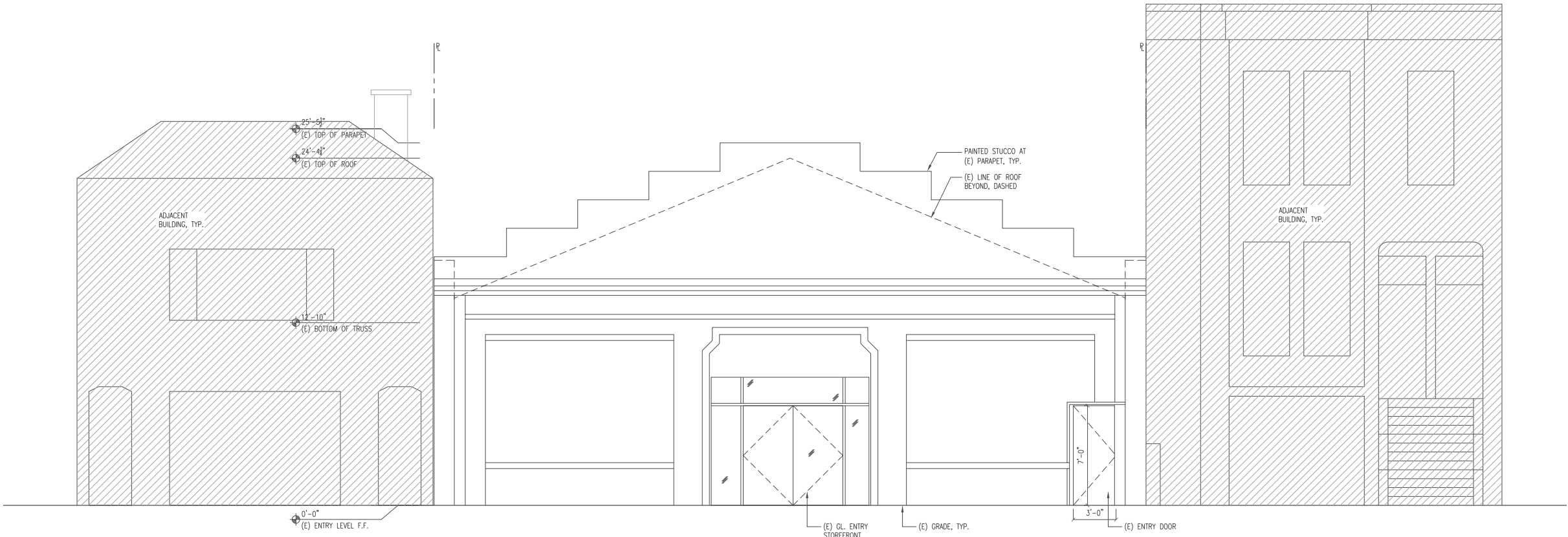
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BUILDING
SECTIONS

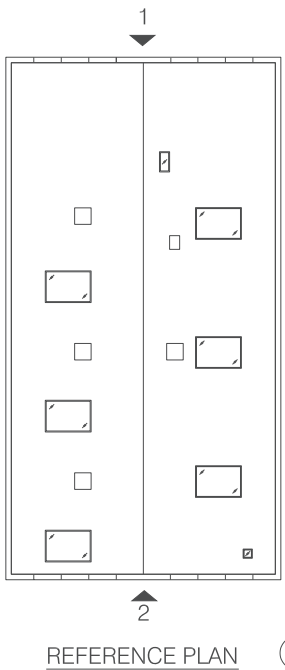
A3.0



2 SOUTH ELEVATION - EXISTING
1/4" = 1'-0"



1 NORTH ELEVATION - EXISTING
1/4" = 1'-0"



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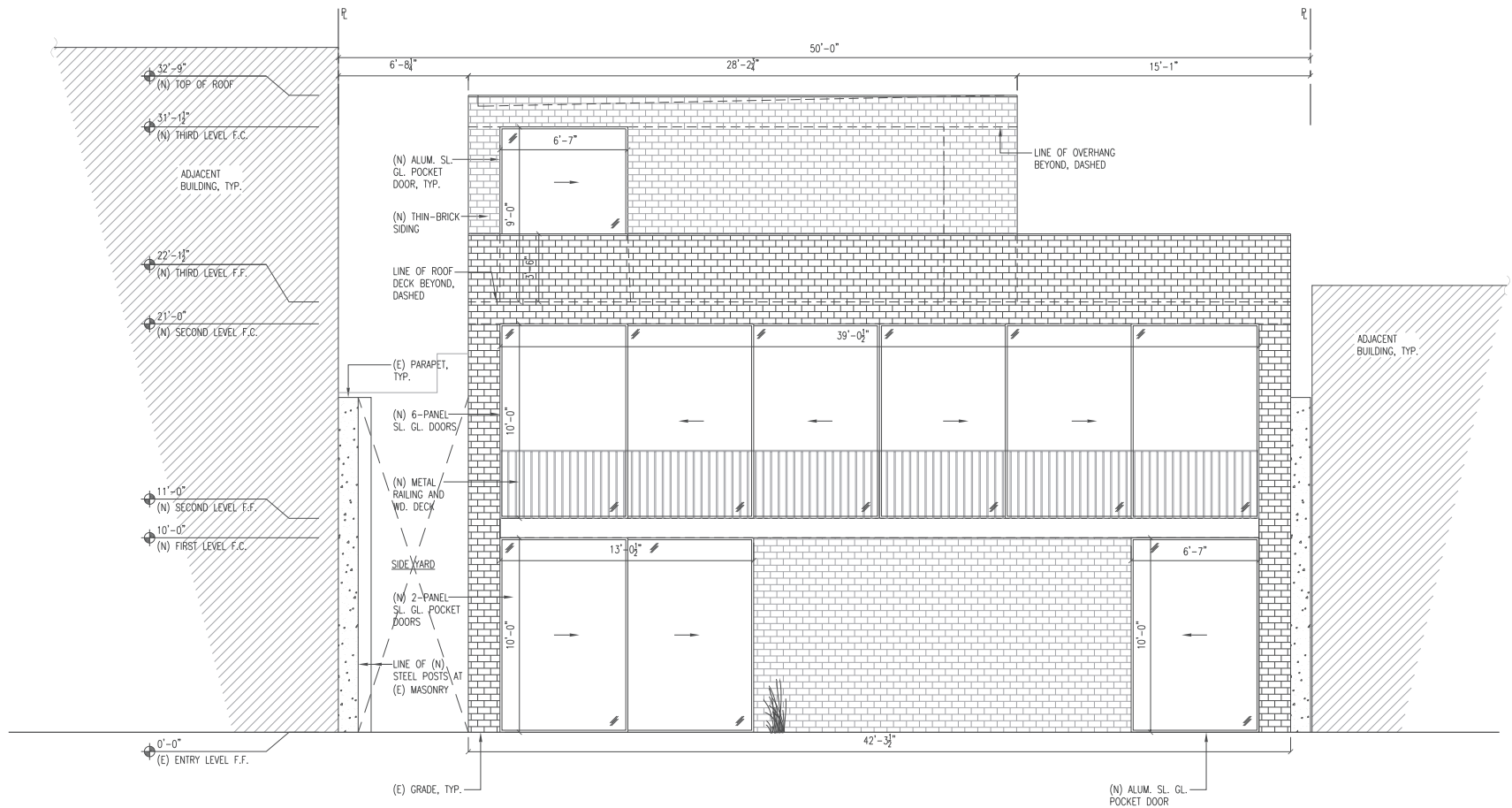
BUILDING
ELEVATIONS
EXISTING

A4.0

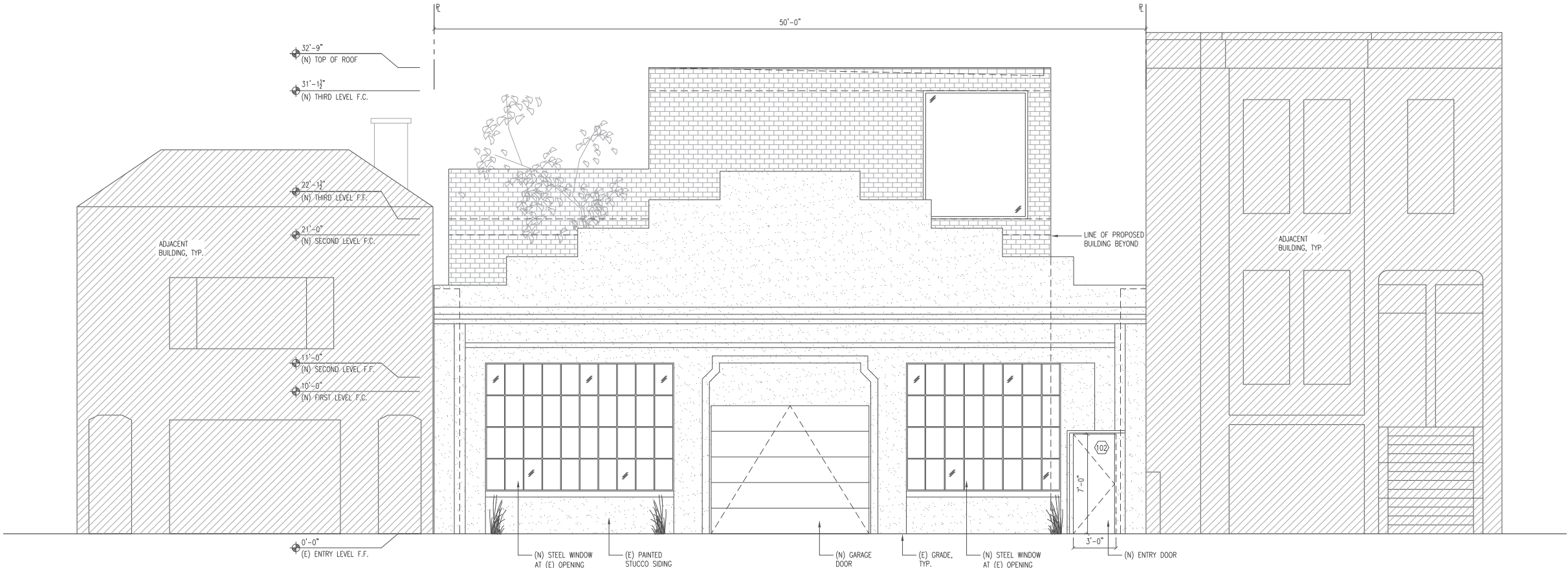


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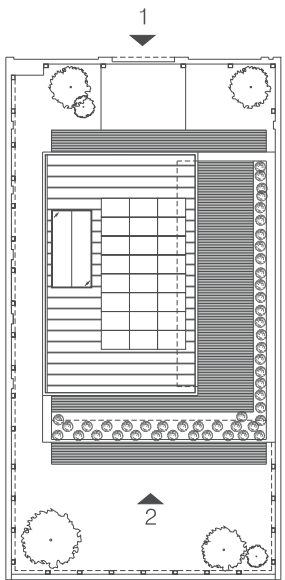
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2 SOUTH ELEVATION - PROPOSED
1/4" = 1'-0"



1 NORTH ELEVATION - PROPOSED
1/4" = 1'-0"



REFERENCE PLAN



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BUILDING
ELEVATIONS
PROPOSED

A4.1