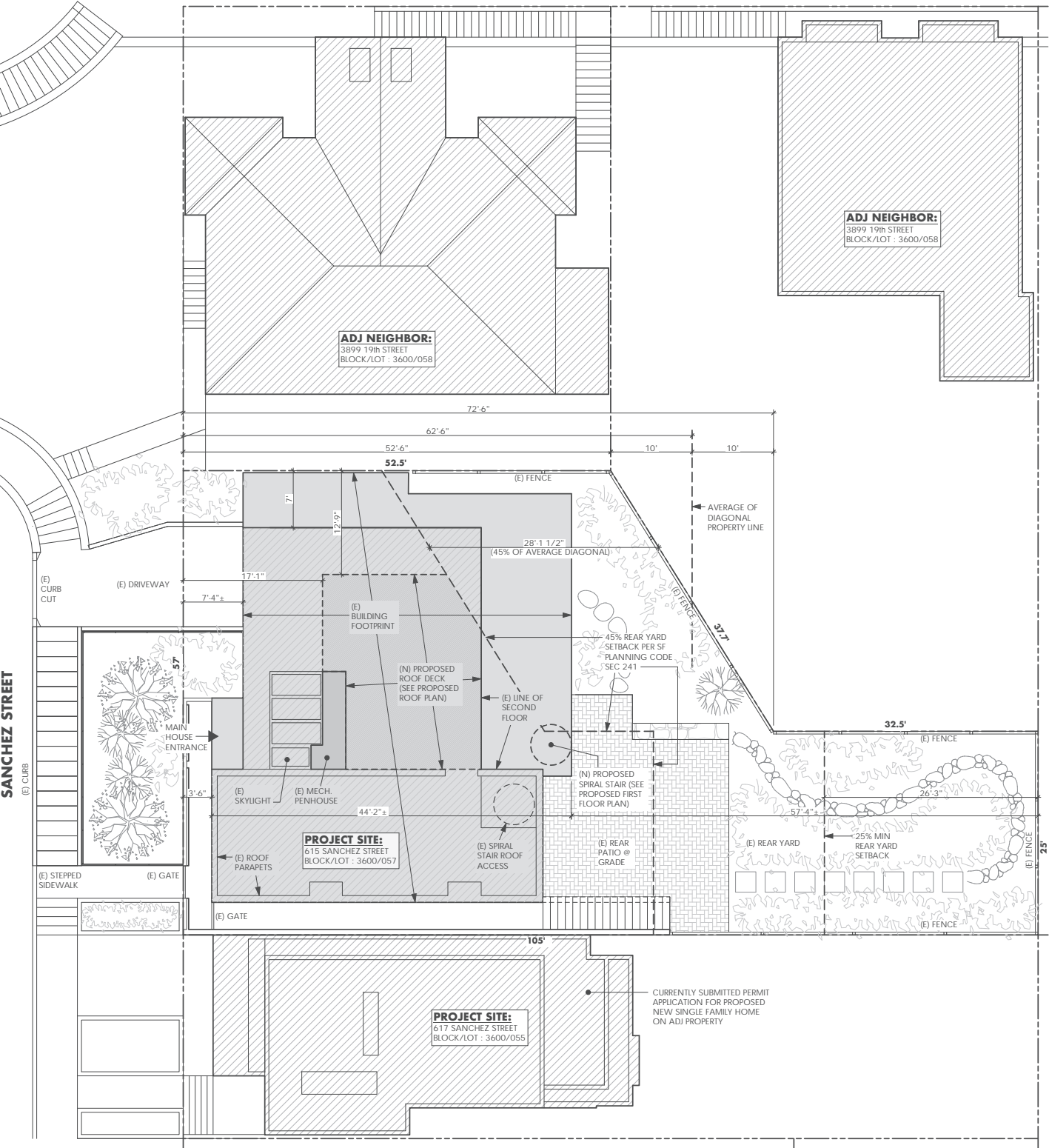


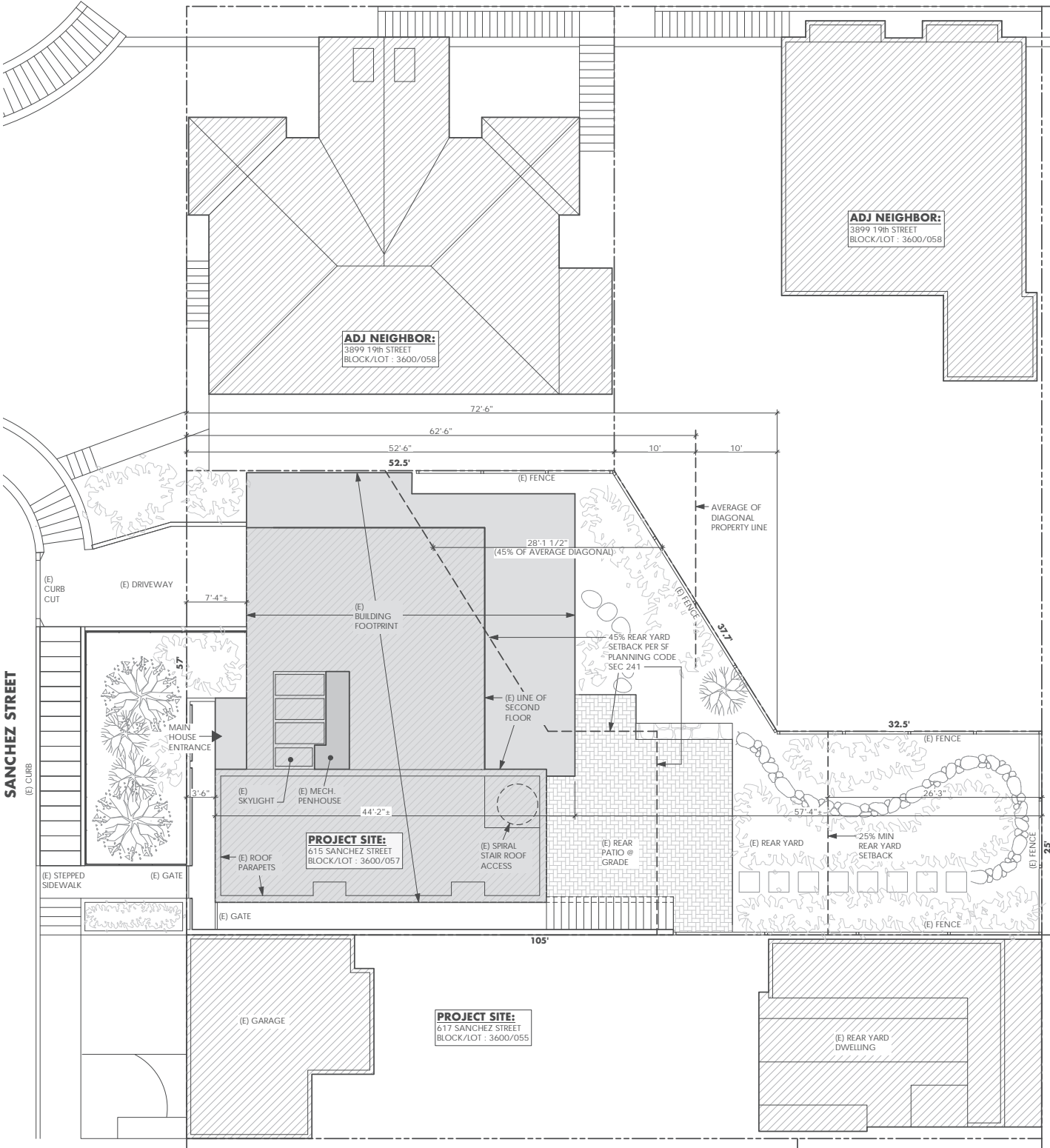
19th STREET



2 PROPOSED SITE PLAN
SCALE: 1/8" = 1'-0"

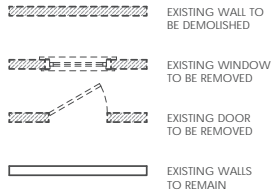


19th STREET



1 EXISTING SITE PLAN
SCALE: 1/8" = 1'-0"



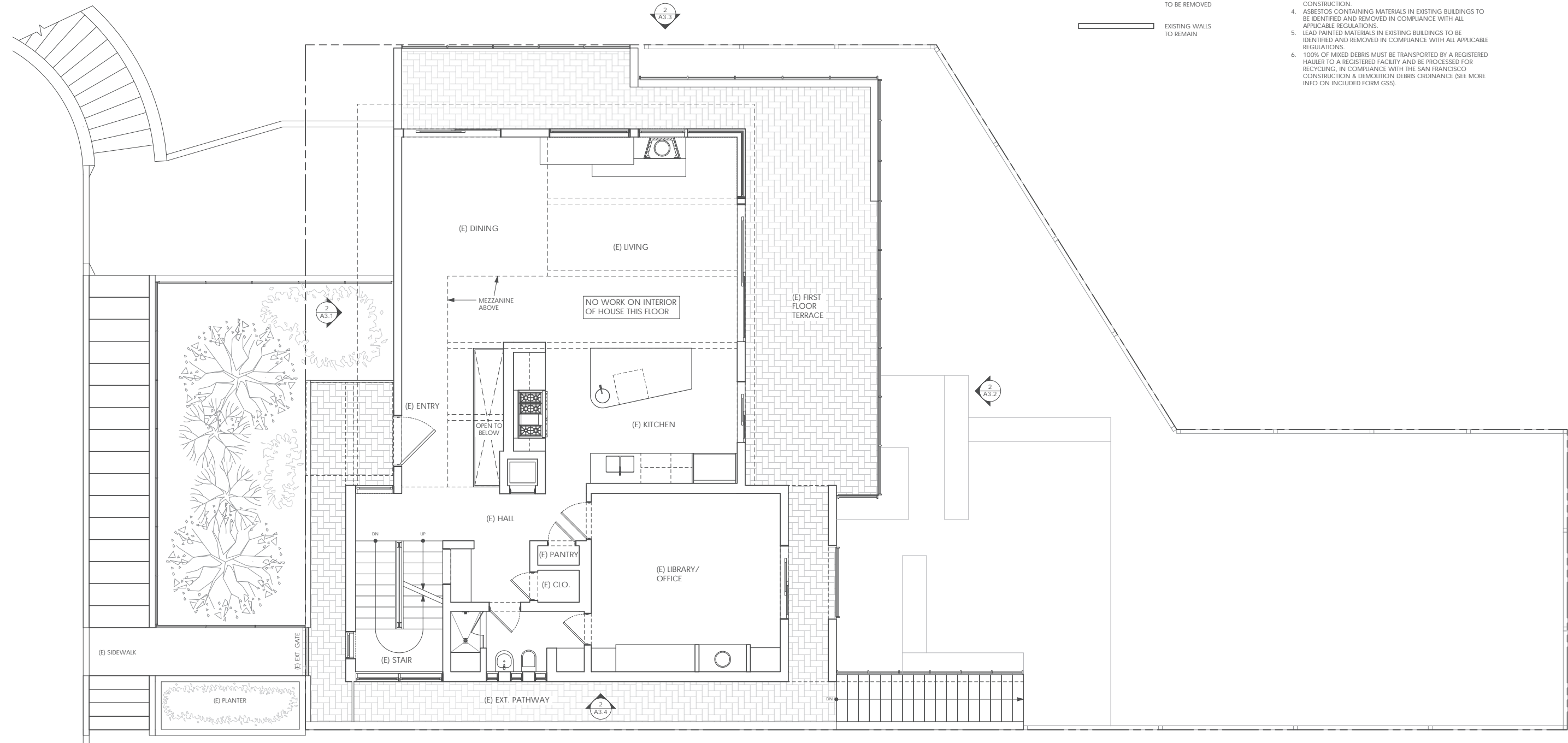


1. CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.
2. ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ALL ADJACENT PROPERTIES AND ALL ADJ. PUBLIC & PRIVATE HARDCAPE, LANDSCAPE.
3. PROTECT ALL WALLS, SURFACES, AND AREAS TO REMAIN INTACT DURING CONSTRUCTION. PATCH AND REPAIR AS NECESSARY ANY SUCH SURFACE DAMAGED DURING DEMOLITION & CONSTRUCTION.
4. ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
5. LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
6. ALL DEMOLISHED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE (SEE MORE INFO ON INCLUDED FORM GSS).

1 EXISTING BASEMENT PLAN NO NEW WORK ON BASEMENT FLOOR - SHOWN FOR REFERENCE ONLY
SCALE: 1/4" = 1'-0"



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DEMO PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WALLS TO REMAIN

DEMO PLAN NOTES

- CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.
- ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ALL ADJACENT PROPERTIES AND ALL ADJ. PUBLIC & PRIVATE HARDSCAPE, LANDSCAPE.
- PROTECT ALL WALLS, SURFACES, AND AREAS TO REMAIN INTACT DURING CONSTRUCTION. PATCH AND REPAIR AS NECESSARY ANY SUCH SURFACE DAMAGED DURING DEMOLITION & CONSTRUCTION.
- ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- LEAD PAINTED MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE (SEE MORE INFO ON INCLUDED FORM GSS).

1 (E)/DEMO FIRST FLOOR PLAN NO DEMO WORK - SHOWN FOR REFERENCE ONLY
SCALE: 1/4" = 1'-0"



NEW ROOF DECK to the:
Tseng Residence
615 Sanchez Street
San Francisco, CA 94114

REVISIONS:

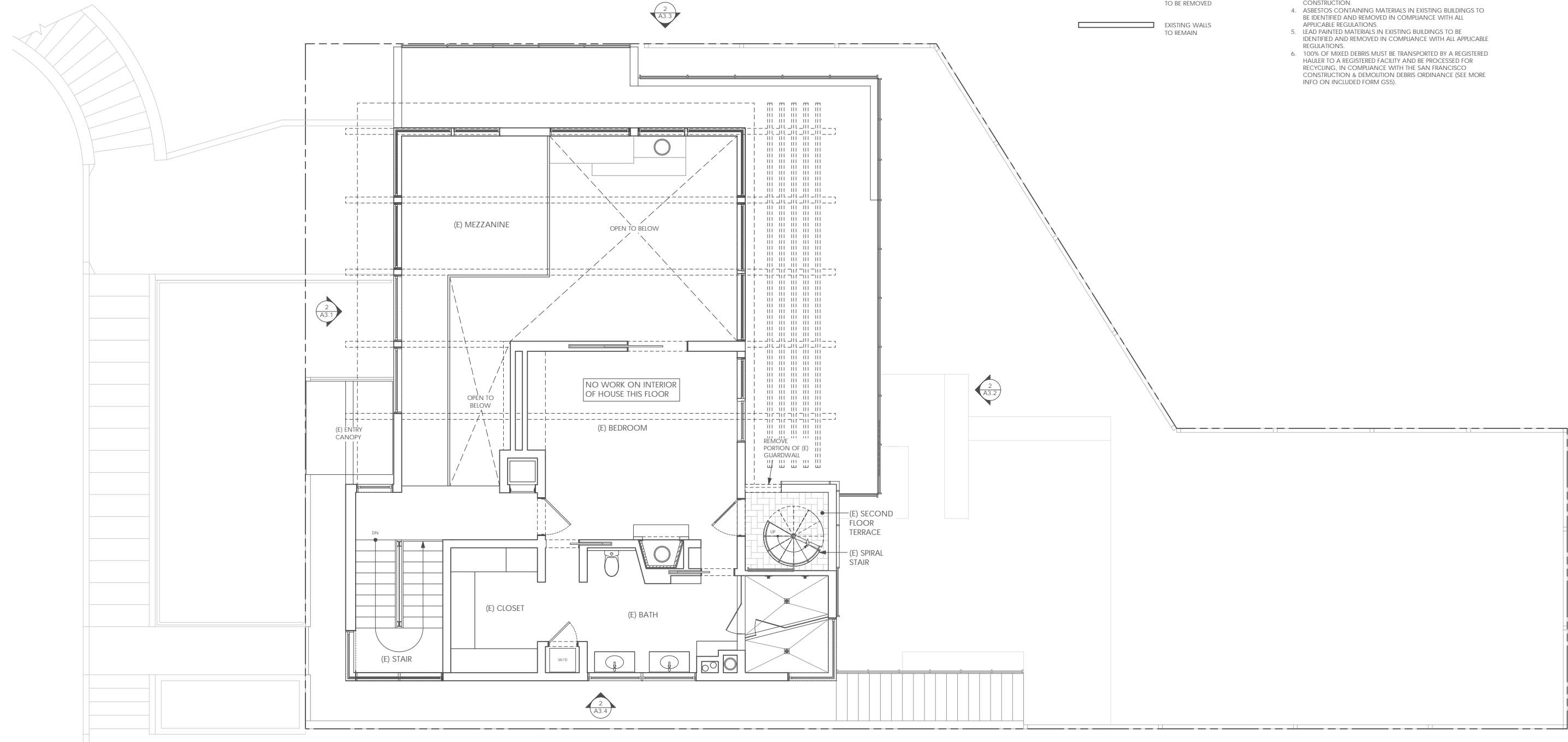
(E)/DEMO FIRST FLOOR PLAN
SITE PERMIT
3/31/21

SCALE:



A1.2

DATE: 10-13-17 BY: [signature] PROJECT: 17-0016-001-001-001



DEMO PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WALLS TO REMAIN

DEMO PLAN NOTES

- CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.
- ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ALL ADJACENT PROPERTIES AND ALL ADJ. PUBLIC & PRIVATE HARDSCAPE, LANDSCAPE.
- PROTECT ALL WALLS, SURFACES, AND AREAS TO REMAIN INTACT DURING CONSTRUCTION. PATCH AND REPAIR AS NECESSARY ANY SUCH SURFACE DAMAGED DURING DEMOLITION & CONSTRUCTION.
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- 100% OF MIXED DEBRIS MUST BE TRANSPORTED BY A REGISTERED HAULER TO A REGISTERED FACILITY AND BE PROCESSED FOR RECYCLING, IN COMPLIANCE WITH THE SAN FRANCISCO CONSTRUCTION & DEMOLITION DEBRIS ORDINANCE (SEE MORE INFO ON INCLUDED FORM GSS).

1 (E)/DEMO SECOND FLOOR PLAN

SCALE: 1/4" = 1'-0"

REVISIONS:

(E)/DEMO SECOND FLOOR PLAN

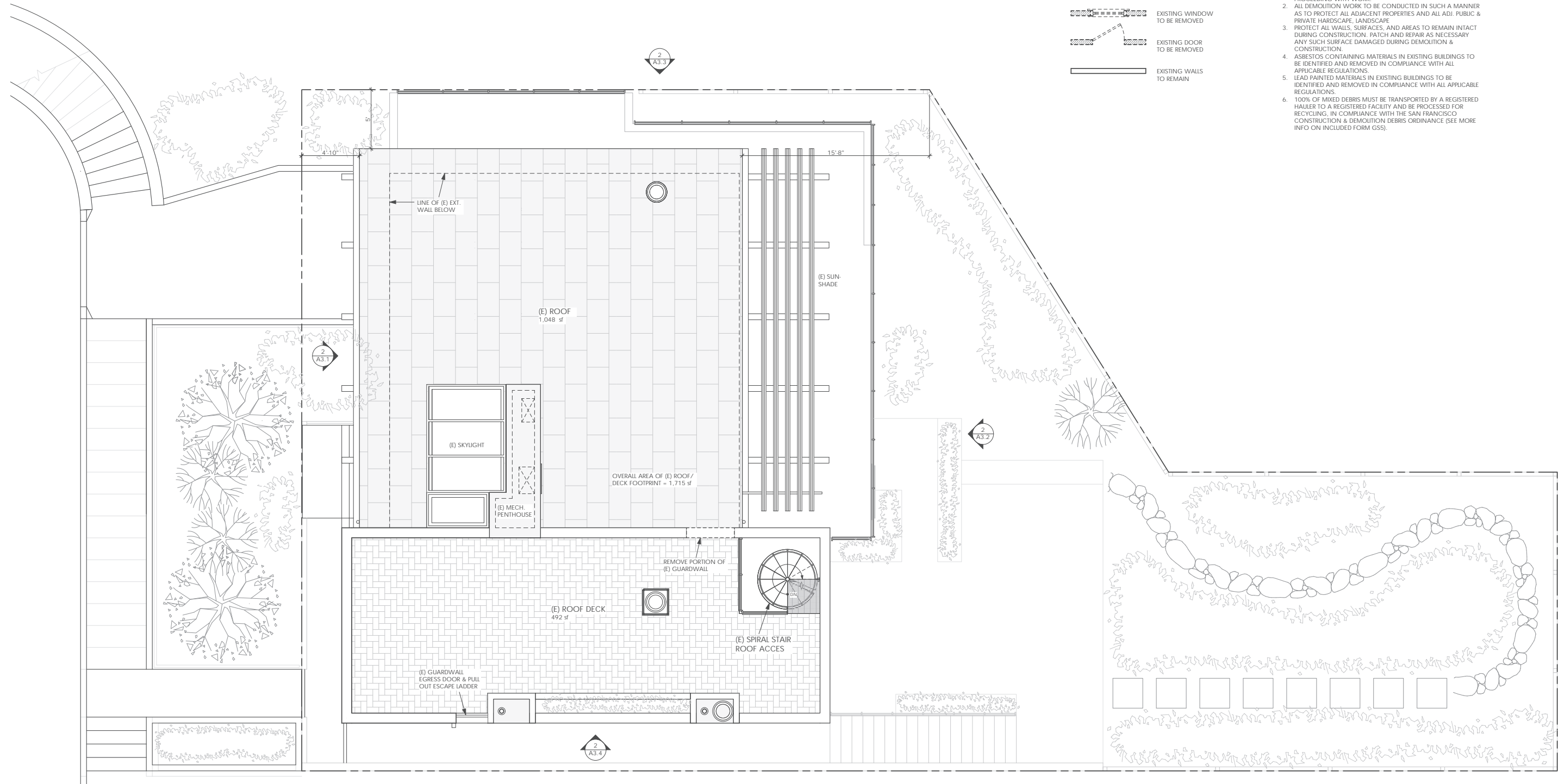
SITE PERMIT
3/31/21

SCALE:



A1.3

DATE: 03-13-21 BY: [Signature] CHECKED: [Signature] DATE: 03-13-21



DEMO PLAN LEGEND

- EXISTING WALL TO BE DEMOLISHED
- EXISTING WINDOW TO BE REMOVED
- EXISTING DOOR TO BE REMOVED
- EXISTING WALLS TO REMAIN

DEMO PLAN NOTES

- CONTRACTOR TO VERIFY BEARING AND NON-BEARING STATUS OF EXISTING CONSTRUCTION TO BE DEMOLISHED BEFORE PROCEEDING WITH WORK.
- ALL DEMOLITION WORK TO BE CONDUCTED IN SUCH A MANNER AS TO PROTECT ALL ADJACENT PROPERTIES AND ALL ADJ. PUBIC & PRIVATE HARDSCAPE, LANDSCAPE.
- PROTECT ALL WALLS, SURFACES, AND AREAS TO REMAIN INTACT DURING CONSTRUCTION. PATCH AND REPAIR AS NECESSARY ANY SUCH SURFACE DAMAGED DURING DEMOLITION & CONSTRUCTION.
- ASBESTOS CONTAINING MATERIALS IN EXISTING BUILDINGS TO BE IDENTIFIED AND REMOVED IN COMPLIANCE WITH ALL APPLICABLE REGULATIONS.
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1 (E)/DEMO ROOF PLAN
SCALE: 1/4" = 1'-0"

VV

2VDESIGN

PO BOX 210885 SF CA 94121

T 415.288.0511 F 415.288.5012

NEW ROOF DECK to the:
Tseng Residence
615 Sanchez Street
San Francisco, CA 94114

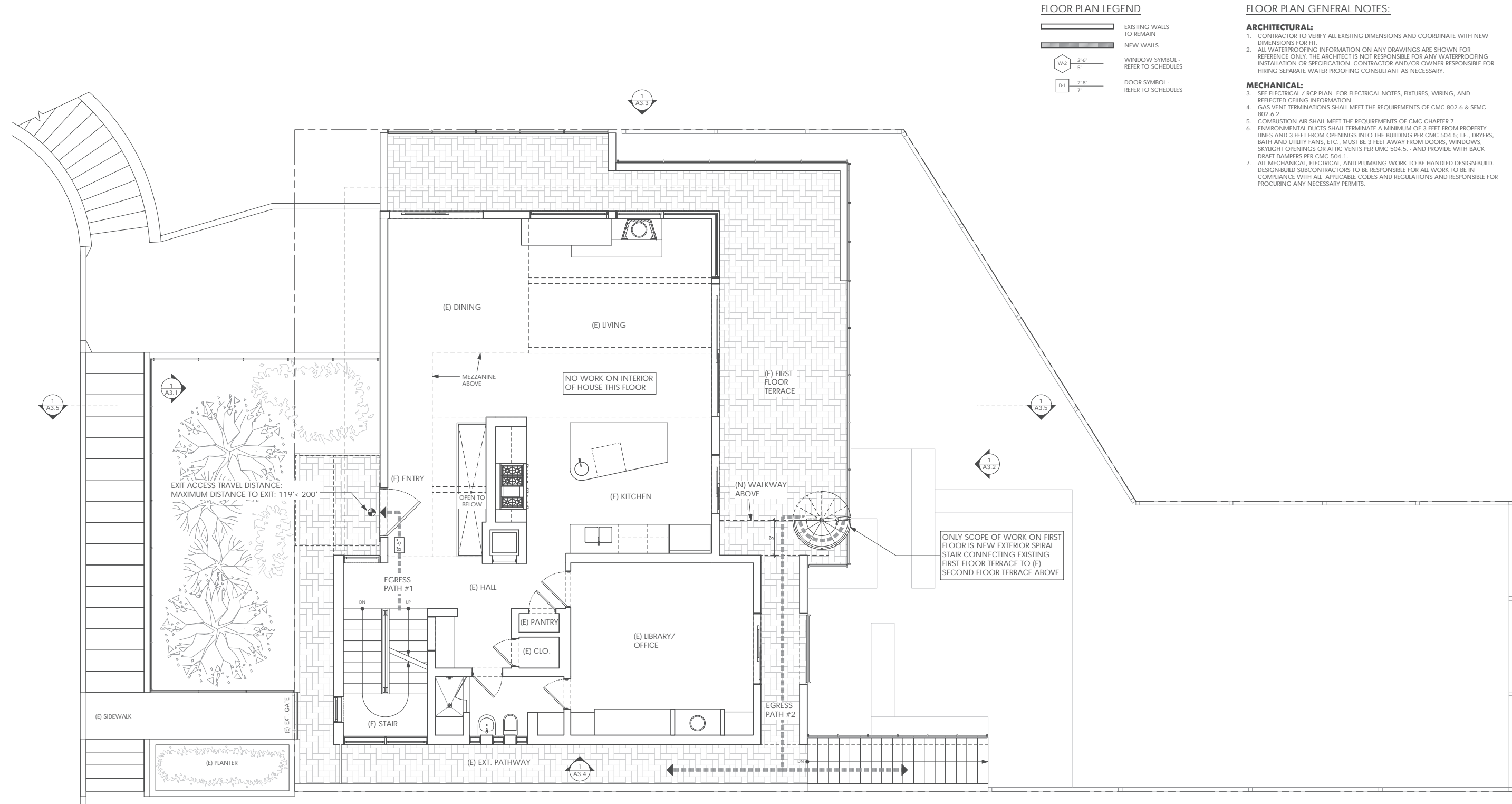
REVISIONS:

(E)/DEMO ROOF PLAN
SITE PERMIT
3/31/21

SCALE:
LICENSED ARCHITECT
GEORGE A WESELY
No. C-28132
REN. 7-31-21
STATE OF CALIFORNIA

A1.4

DATE: 10/13/2023 BY: [Signature] PROJECT: 2023-001-001



1 PROPOSED FIRST FLOOR
SCALE: 1/4" = 1'-0"

NOTE: NO WORK ON BASEMENT PLAN - SEE
EXISTING BASEMENT PLAN FOR REFERENCE



| FLOOR PLAN LEGEND | |
|-------------------|------------------------------------|
| | EXISTING WALLS TO REMAIN |
| | NEW WALLS |
| | WINDOW SYMBOL - REFER TO SCHEDULES |
| | DOOR SYMBOL - REFER TO SCHEDULES |

- FLOOR PLAN GENERAL NOTES:**
- ARCHITECTURAL:**
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND COORDINATE WITH NEW DIMENSIONS FOR FIT.
 - ALL WATERPROOFING INFORMATION ON ANY DRAWINGS ARE SHOWN FOR REFERENCE ONLY. THE ARCHITECT IS NOT RESPONSIBLE FOR ANY WATERPROOFING INSTALLATION OR SPECIFICATION. CONTRACTOR AND/OR OWNER RESPONSIBLE FOR HIRING SEPARATE WATER PROOFING CONSULTANT AS NECESSARY.
- MECHANICAL:**
- SEE ELECTRICAL / RCP PLAN FOR ELECTRICAL NOTES, FIXTURES, WIRING, AND REFLECTED CEILING INFORMATION.
 - GAS VENT TERMINATIONS SHALL MEET THE REQUIREMENTS OF CMC 802.6 & SFMC 802.6.2.
 - COMBUSTION AIR SHALL MEET THE REQUIREMENTS OF CMC CHAPTER 7.
 - ENVIRONMENTAL DUCTS SHALL TERMINATE A MINIMUM OF 3 FEET FROM PROPERTY LINES AND 3 FEET FROM OPENINGS INTO THE BUILDING PER CMC 504.5; I.E., DRYERS, BATH AND UTILITY FANS, ETC., MUST BE 3 FEET AWAY FROM DOORS, WINDOWS, SKYLIGHT OPENINGS OR ATTIC VENTS PER UMC 504.5. AND PROVIDE WITH BACK DRAFT DAMPERS PER CMC 504.1.
 - ALL MECHANICAL, ELECTRICAL, AND PLUMBING WORK TO BE HANDLED DESIGN-BUILD. DESIGN-BUILD SUBCONTRACTORS TO BE RESPONSIBLE FOR ALL WORK TO BE IN COMPLIANCE WITH ALL APPLICABLE CODES AND REGULATIONS AND RESPONSIBLE FOR PROCURING ANY NECESSARY PERMITS.

2V DESIGN
PO BOX 210888 SF CA 94121
T 415.288.0511 F 415.288.6012

NEW ROOF DECK to the:
Tseng Residence
615 Sanchez Street
San Francisco, CA 94114

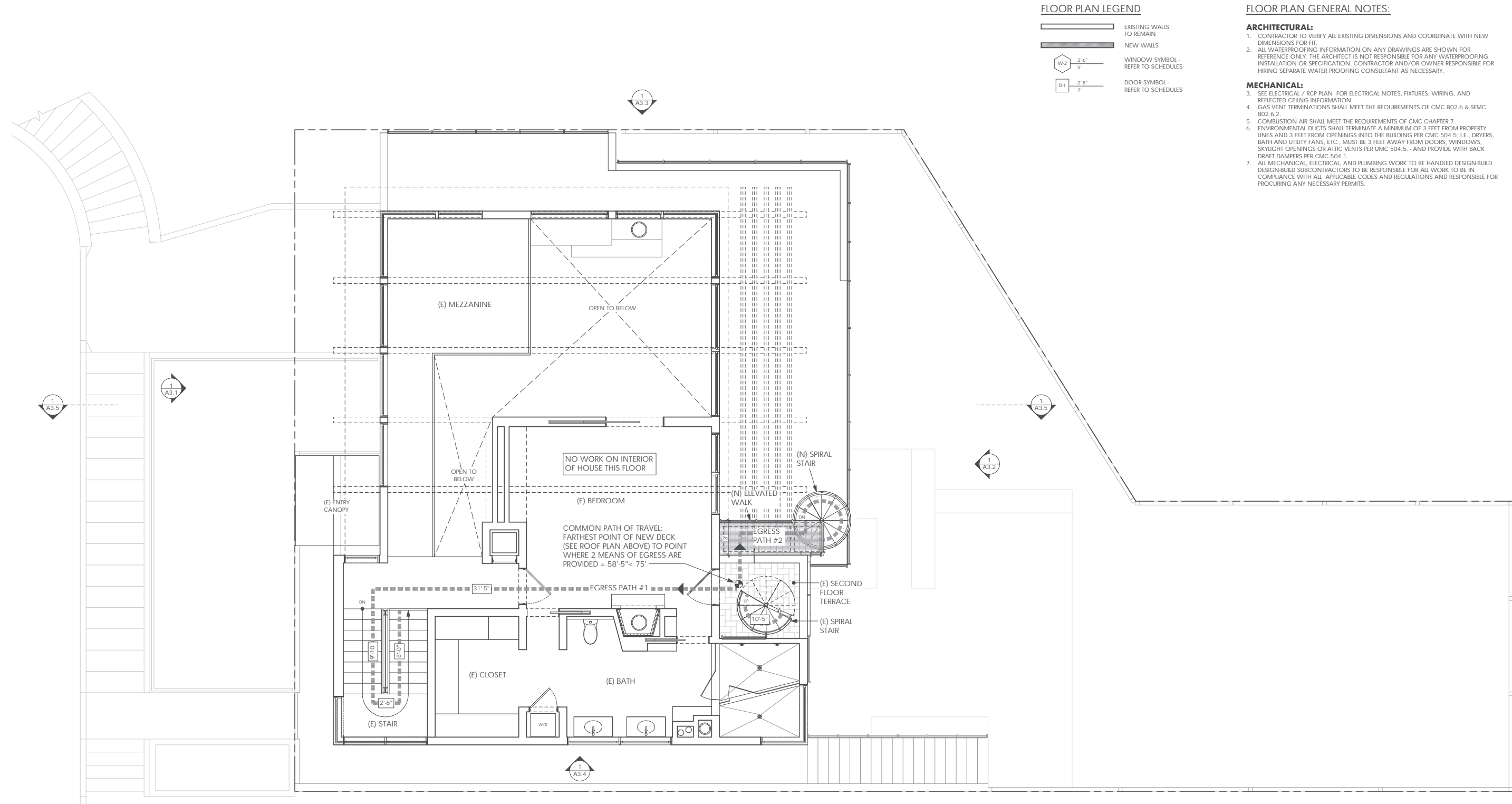
REVISIONS:

PROPOSED FIRST FLOOR PLAN
SITE PERMIT
3/31/21

SCALE:

A2.1

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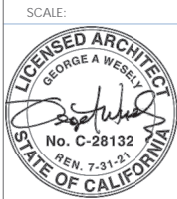
| FLOOR PLAN LEGEND | |
|-------------------|------------------------------------|
| | EXISTING WALLS TO REMAIN |
| | NEW WALLS |
| | WINDOW SYMBOL - REFER TO SCHEDULES |
| | DOOR SYMBOL - REFER TO SCHEDULES |

- FLOOR PLAN GENERAL NOTES:**
- ARCHITECTURAL:**
- CONTRACTOR TO VERIFY ALL EXISTING DIMENSIONS AND COORDINATE WITH NEW DIMENSIONS FOR FIT.
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NEW ROOF DECK to the:
Tseng Residence
615 Sanchez Street
San Francisco, CA 94114

REVISIONS:

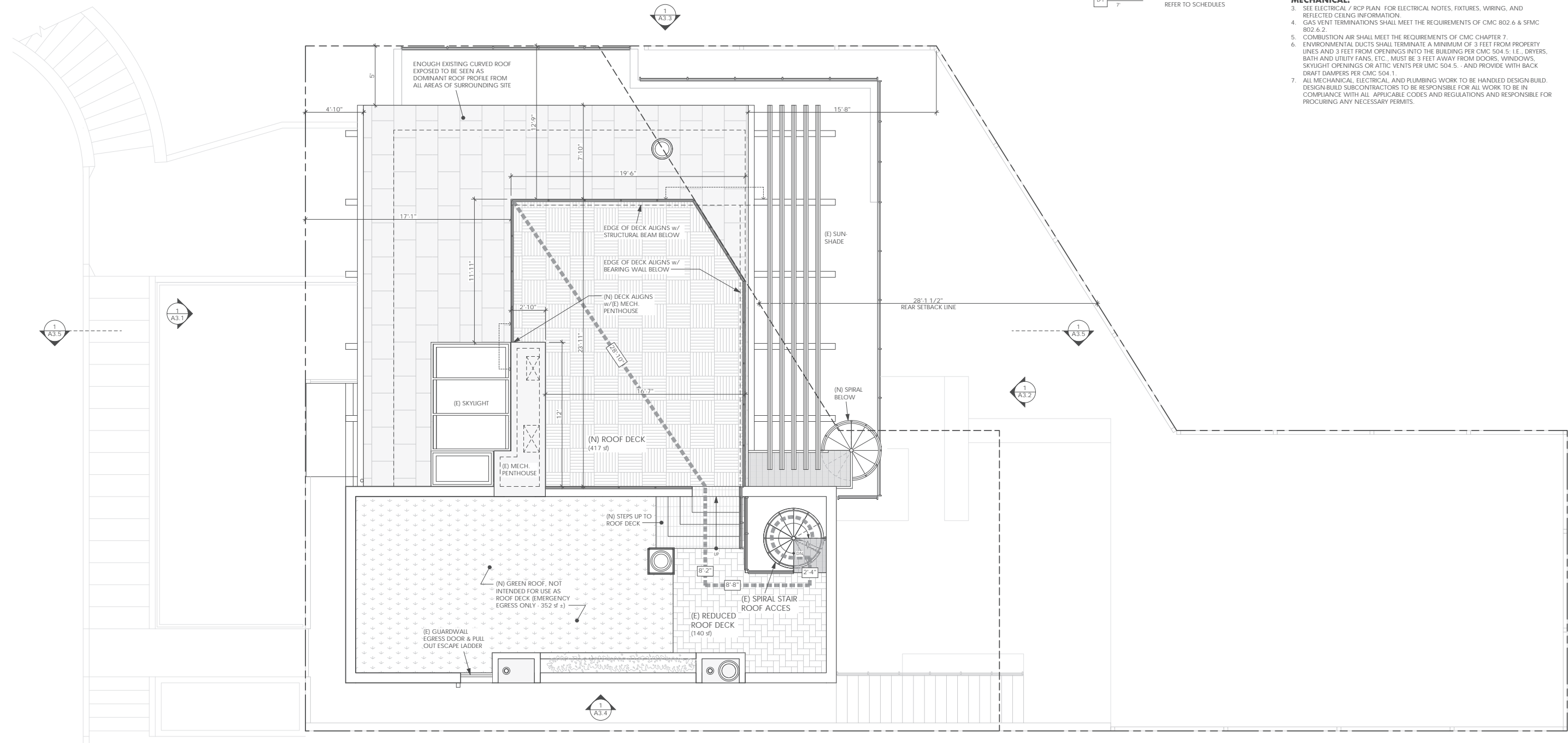
PROPOSED SECOND FLOOR PLAN
SITE PERMIT
3/31/21



A2.2

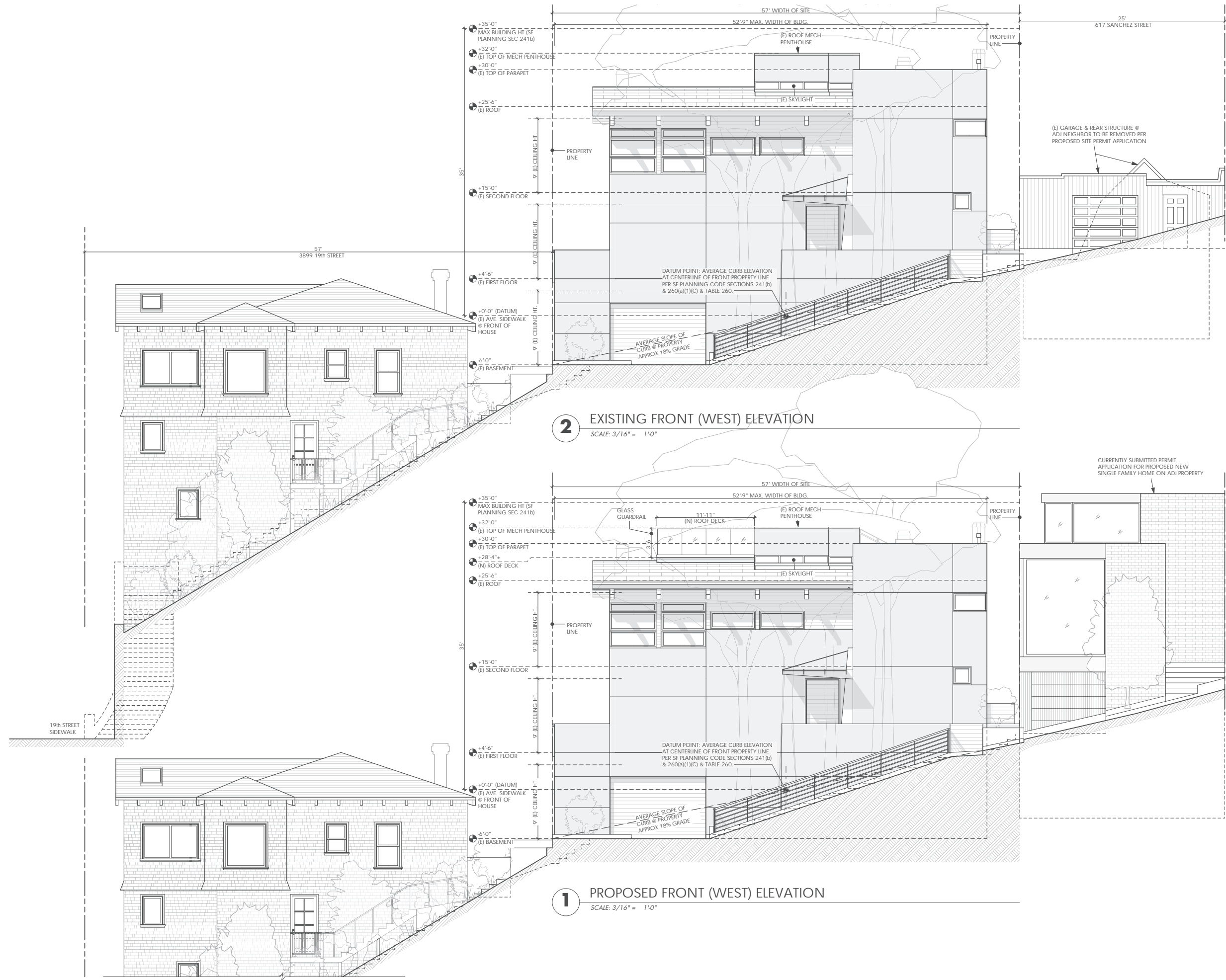
PROPOSED ROOF PLAN
SITE PERMIT
3/31/21

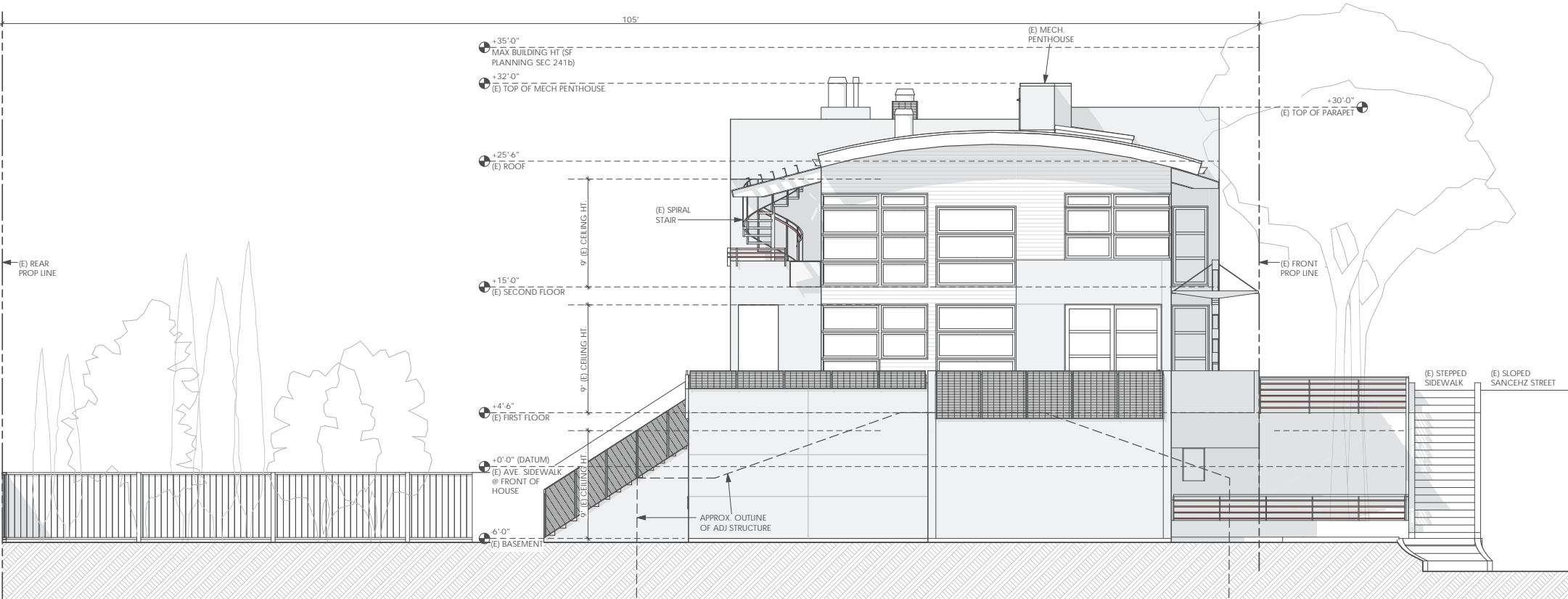
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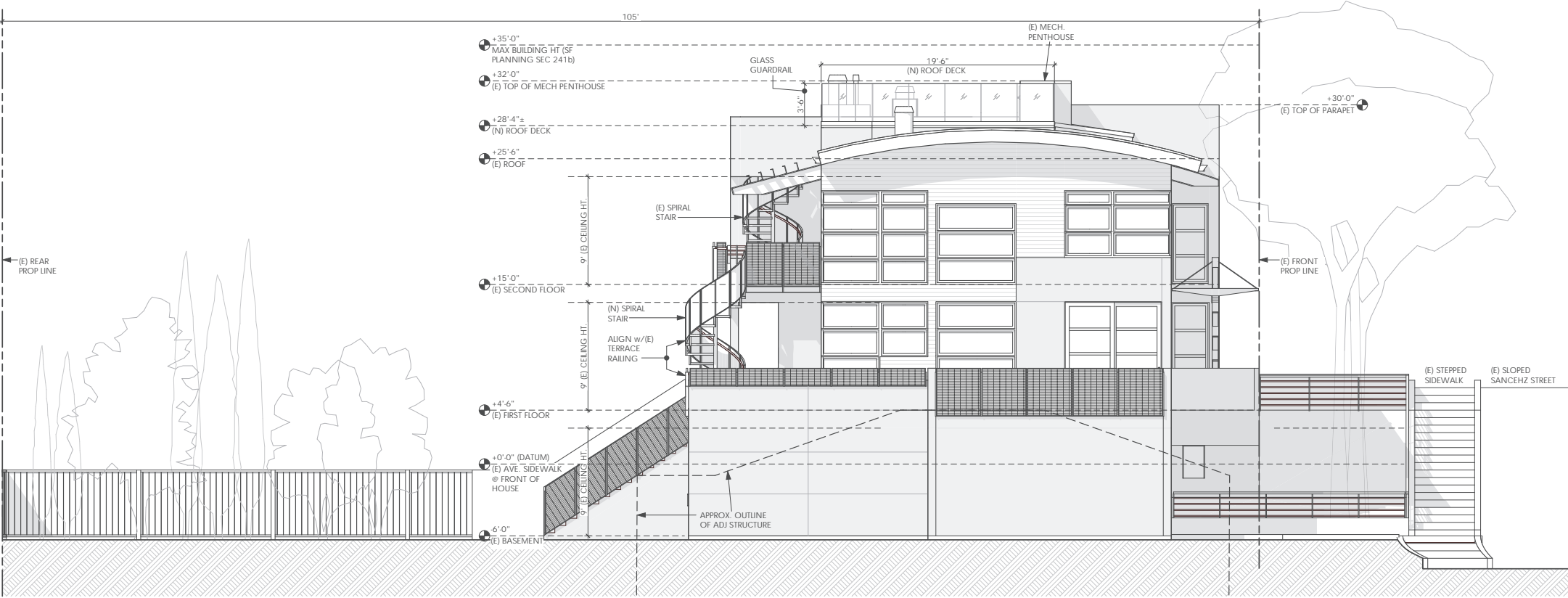
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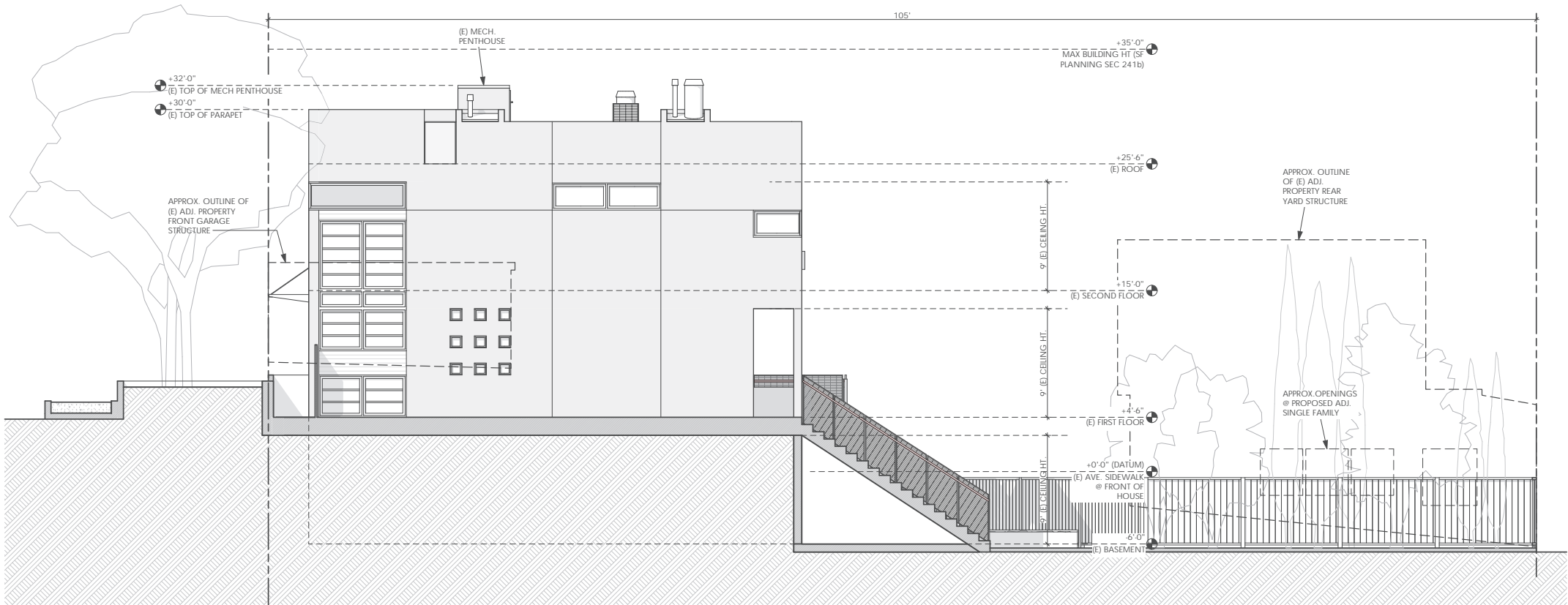




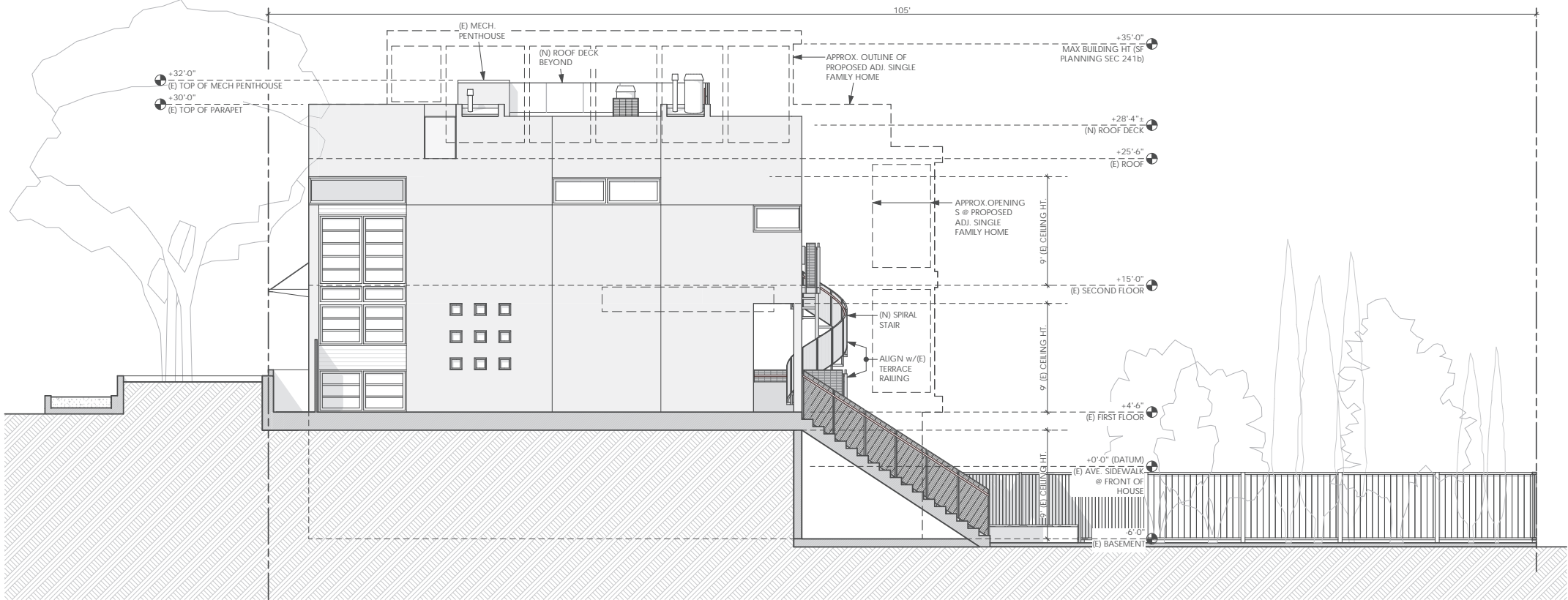
2 EXISTING SIDE (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"



1 PROPOSED SIDE (NORTH) ELEVATION
SCALE: 3/16" = 1'-0"



2 EXISTING SIDE (SOUTH) ELEVATION
SCALE: 3/16" = 1'-0"



1 PROPOSED SIDE (SOUTH) ELEVATION
SCALE: 3/16" = 1'-0"