



SAN FRANCISCO PLANNING DEPARTMENT

November 22, 2019

TMG Partners
100 Bush Street, 26th Floor
San Francisco, CA 94104

ATTN: David Cropper

RE: Approval of the schematic design of Parcel PK North of the Pier 70 Mixed-Use Development

Dear David,

Thank you for submittal of the vertical improvement design of Parcel PK North. Pursuant to Planning Code Section 249.79(l), the Planning Department has reviewed the vertical improvement design and finds it consistent with the requirements of Section 249.79 and the Design for Development document. As of November 13, 2019, the Planning Department has completed review and hereby approves the vertical improvement design as detailed in the staff report dated October 25, 2019. The approval of the schematic design is subject to the Conditions of Approval included in Exhibit A of this approval. Such conditions are required to render the project consistent with the requirements of Planning Code Section 249.79, the Design for Development document, and the San Francisco General Plan.

APPROVED

DATE

A handwritten signature in black ink, appearing to read "John Raham", written over a horizontal line.

11.22.19

John Raham
Planning Director
San Francisco Planning Department

1650 Mission St.
Suite 400
San Francisco,
CA 94103-2479

Reception:
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Exhibit A:

Conditions of Approval, Compliance, Monitoring, and Reporting

DESIGN – COMPLIANCE AT PLAN STAGE

1. **Final Materials.** The Project Sponsor shall continue to work with Planning Department and the Port of San Francisco on the final design. Final materials, glazing, color, texture, landscaping, and detailing shall be subject to Department staff and Port staff for review and approval; an onsite mockup must also be shown to Port staff for review and approval prior to any substantial application to building facades or walls. The architectural addenda shall be reviewed and approved by the Planning Department prior to issuance.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

2. **Garbage, Composting and Recycling Storage.** Space for the collection and storage of garbage, composting, and recycling shall be provided within enclosed areas on the property and clearly labeled and illustrated on the building permit plans. Space for the collection and storage of recyclable and compostable materials that meets the size, location, accessibility and other standards specified by the San Francisco Recycling Program shall be provided at the ground level of the buildings.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

3. **Rooftop Mechanical Equipment.** Pursuant to Standard 6.11.1 of the Design for Development document, the Project Sponsor shall submit a roof plan to the Planning Department prior to Planning approval of the building permit application. Rooftop mechanical equipment, if any is proposed as part of the Project, is required to be screened from view as detailed in the Section.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

PARKING AND TRAFFIC

4. **Parking for Affordable Units.** All off-street parking spaces shall be made available to Project residents only as a separate “add-on” option for purchase or rent and shall not be bundled with any Project dwelling unit for the life of the dwelling units. The required parking spaces may be made available to residents within a quarter mile of the project. All affordable dwelling units pursuant to Planning Code Section 415 shall have equal access to use of the parking as the market rate units, with parking spaces priced commensurate with the affordability of the dwelling unit. Each unit within the Project shall have the first right of refusal to rent or purchase a parking space until the number of residential parking spaces are no longer available. No conditions may be placed on the purchase or rental of dwelling units, nor may homeowner’s rules be established, which prevent or preclude the separation of parking spaces from dwelling units.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

5. **Car Share.** Pursuant to the Design for Development document, no fewer than **two (2)** car share space shall be made available, at no cost, to a certified car share organization for the purposes of providing car share services for its service subscribers.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
6. **Bicycle Parking.** Pursuant to the Design for Development document, the Project shall provide no fewer than 148 bicycle parking spaces (**136** Class 1 spaces and **12** Class 2 for the residential portion of the Project and **7** Class 1 or 2 spaces for the commercial portion of the Project). SFMTA has final authority on the type, placement and number of Class 2 bicycle racks within the public ROW. Prior to issuance of first architectural addenda, the project sponsor shall contact the SFMTA Bike Parking Program at bikeparking@sfmta.com to coordinate the installation of on-street bicycle racks and ensure that the proposed bicycle racks meet the SFMTA's bicycle parking guidelines. Depending on local site conditions and anticipated demand, SFMTA may request the project sponsor pay an in-lieu fee for Class II bike racks required by the Planning Code.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
7. **Parking Maximum.** Pursuant to the Design for Development document, the Project shall provide no more than **147** off-street parking spaces.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org
8. **Managing Traffic During Construction.** The Project Sponsor and construction contractor(s) shall coordinate with the Traffic Engineering and Transit Divisions of the San Francisco Municipal Transportation Agency (SFMTA), the Police Department, the Fire Department, the Planning Department, and other construction contractor(s) for any concurrent nearby Projects to manage traffic congestion and pedestrian circulation effects during construction of the Project.
For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

PROVISIONS

9. **Anti-Discriminatory Housing.** The Project shall adhere to the requirements of the Anti-Discriminatory Housing policy, pursuant to Administrative Code Section 1.61.
For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org
10. **First Source Hiring.** The Project shall adhere to the requirements of the First Source Hiring Construction and End-Use Employment Program approved by the First Source Hiring Administrator, pursuant to Section 83.4(m) of the Administrative Code. The Project Sponsor shall comply with the requirements of this Program regarding construction work and on-going employment required for the Project.

For information about compliance, contact the First Source Hiring Manager at 415-581-2335, www.onestopSF.org

11. **Transportation Sustainability Fee.** The Project is subject to the Transportation Sustainability Fee (TSF), as applicable, pursuant to Planning Code Section 411A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

12. **Residential Child Care Impact Fee.** The Project is subject to the Residential Child Care Fee, as applicable, pursuant to Planning Code Section 414A.

For information about compliance, contact the Case Planner, Planning Department at 415-558-6378, www.sf-planning.org

13. **Inclusionary Affordable Housing Program.** The project is subject to the provisions of Planning Code Section 249.79, which requires compliance with the Inclusionary Housing Program established in Section 415 through payment of the Affordable Housing Fee equivalent to twenty-eight percent (28%) of the number of units in the proposed condominium ownership project. The Affordable Housing Fee for the project is assessed using the methodology and amounts published in the January 1, 2019 Citywide Development Impact Fee register. The assessed amount shall be indexed annually in accordance with the regular revisions published in the Impact Fee Register each year until such time as a First Construction Documents are issued and the Fee is paid.

MONITORING - AFTER ENTITLEMENT

14. **Enforcement.** Violation of any of the Planning Department conditions of approval contained in this Motion or of any other provisions of Planning Code applicable to this Project shall be subject to the enforcement procedures and administrative penalties set forth under Planning Code Section 176 or Section 176.1. The Planning Department may also refer the violation complaints to other city departments and agencies for appropriate enforcement action under their jurisdiction.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

15. **Revocation due to Violation of Conditions.** Should implementation of this Project result in complaints from interested property owners, residents, or commercial lessees which are not resolved by the Project Sponsor and found to be in violation of the Planning Code and/or the specific conditions of approval for the Project as set forth in Exhibit A of this Motion, the Zoning Administrator shall refer such complaints to the Commission, after which it may hold a public hearing on the matter to consider revocation of this authorization.

For information about compliance, contact Code Enforcement, Planning Department at 415-575-6863, www.sf-planning.org

OPERATION

16. **Sidewalk Maintenance.** The Project Sponsor shall maintain the main entrance to the building and all sidewalks abutting the subject property in a clean and sanitary condition in compliance with the Department of Public Works Streets and Sidewalk Maintenance Standards.

For information about compliance, contact Bureau of Street Use and Mapping, Department of Public Works, 415-695-2017, <http://sfdpw.org>



SAN FRANCISCO PLANNING DEPARTMENT

Memo to the Planning Director

Date: October 25, 2019
Case No.: 2019-017002PHA
Project: Pier 70 Mixed Use Project Parcel K North
Zoning: P70-MU (Pier 70 Mixed Use)
Pier 70 Special Use District
65-X Height and Bulk District
Block/Lot: Pier 70 Parcel K North
Project Sponsor: Presidio Bay Ventures
1160 Battery St, Suite 250
San Francisco, CA 94111
Staff Contact: Michael Christensen – (415) 575-8742
Michael.Christensen@sfgov.org
Ryan Wassum – (415) 274-0637
Ryan.Wassum@sfport.com
Recommendation: Approve the Schematic Design

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BACKGROUND

Planning Code Section 249.79(k) details the administrative review process for vertical improvements at the Pier 70 Mixed Use Project. Under the administrative review process, schematic designs of vertical improvements proposed at the site are reviewed by Planning Department and Port staff for completeness and consistency with the Design for Development (D4D) document. Upon a determination of completeness, (or deemed completeness), staff shall conduct design review and prepare a staff report determining compliance of the Vertical Improvement with Section 249.79 and the D4D, including a recommendation regarding any modifications sought. Within 20-days of delivery and posting of this staff report, the Planning Director shall approve or disapprove the Vertical Improvement design and any Minor Modifications based on its compliance with this Section 249.79 and the D4D and the findings and recommendations of the staff report.

This memo serves as the staff report required under Section 249.79 and details the completeness and consistency of the schematic building designs for Parcel K North, which was submitted to the Port of San Francisco for review on May 14, 2019.

CURRENT PROPOSAL

Parcel K North is proposed to be developed with a seven story, 65-foot tall, 377,506 square foot mixed use building containing 245 for-sale dwelling units over ground floor amenity and retail spaces. No minor or major modifications to the requirements of the D4D document are requested. A plan check sheet detailing consistency with the D4D and a reduced set of plans are attached to this report.

Additionally, the project sponsor has conducted outreach events with interested parties to solicit feedback on the proposed design for Parcel K North. The following outreach was conducted:

- Central Waterfront Advisory Group – May 15, June 5, & September 18, 2019
- Dogpatch Neighborhood Association – July 9 & September 10, 2019
- Potrero Boosters – July 30, 2019

Over the course of review, the project has been modified in response to inconsistencies with the D4D document identified by Planning Department and Port staff and in response to general design comments received by neighborhood groups. Specifically, the design has been modified in the following ways:

- The north building façade has been angled to provide additional visibility to the historic façade of Building 113 and to provide additional area to the public plaza, which will be designed and built by the project sponsor,
- The ground floor of the east building façade has incorporated walk-up town homes and additional public seating to better enhance and activate the building and the Michigan Street frontage,
- Ground floor plans have been altered to shift amenity spaces to the plaza façade to reduce the impact of placing residences directly against the plaza, potentially leading to a feeling of privatization of the plaza,
- Upper floors have been rationalized and the topmost (sixth) floor has been setback slightly to align with the fifth floor to reduce the top-heavy appearance of the building, and
- Materials and fenestration patterns have been refined.

With these modifications, staff finds the schematic design to be consistent with Section 249.79 and the requirements of the D4D.

AFFORDABLE HOUSING FEE

The project is located within the Pier 70 Special Use District and is not included within the “28-Acre Site” established in the Development Agreement. Therefore, the project is subject to the provisions of Planning Code Section 249.79, which requires compliance with the Inclusionary Housing Program established in Section 415 through payment of the Affordable Housing Fee equivalent to twenty-eight percent (28%) of the number of units in the proposed condominium ownership project. All other provisions of Section 415 apply.

Effective January 1, 2019 the Mayor’s Office of Housing and Community Development (MOHCD) applies the Affordable Housing Fee on a per gross square foot basis, rather than the previous per unit basis, pursuant to the provisions of Planning Code Section 415.5 and 415.10. Therefore, the Affordable Housing Fee for the project is assessed using the methodology and amounts published in the January 1, 2019 Citywide Development Impact Fee register. The assessed amount shall be indexed annually in accordance with the regular revisions published in the Impact Fee Register each year until such time as a First Construction Documents are issued and the Fee is paid.

REQUIRED DIRECTOR'S ACTION

For the project to proceed, the Planning Director must approve the Vertical Improvement design and any Minor Modifications based on its compliance with Section 249.79 and the D4D and recommendations of this staff report.

BASIS FOR RECOMMENDATION

- The project is compliant with Section 249.79 of the Planning Code.
- The project is compliant with the requirements of the Design for Development (D4D) document and no modifications are requested.
- The project has been reviewed by interested neighborhood groups and modifications have been completed in response to comments received.

RECOMMENDATION: Approve the schematic design for Parcel K North

Attachments:

- Plan Check document
- Parcel K North Plans

PIER 70

PKN

May 14, 2019
June 19, REV 1
July 15, REV 2
Sept. 19, REV 3

PKN MANAGER LLC

PRESIDIO BAY VENTURES

HANDEL ARCHITECTS LLP

MEYER STUDIO LAND ARCHITECTS



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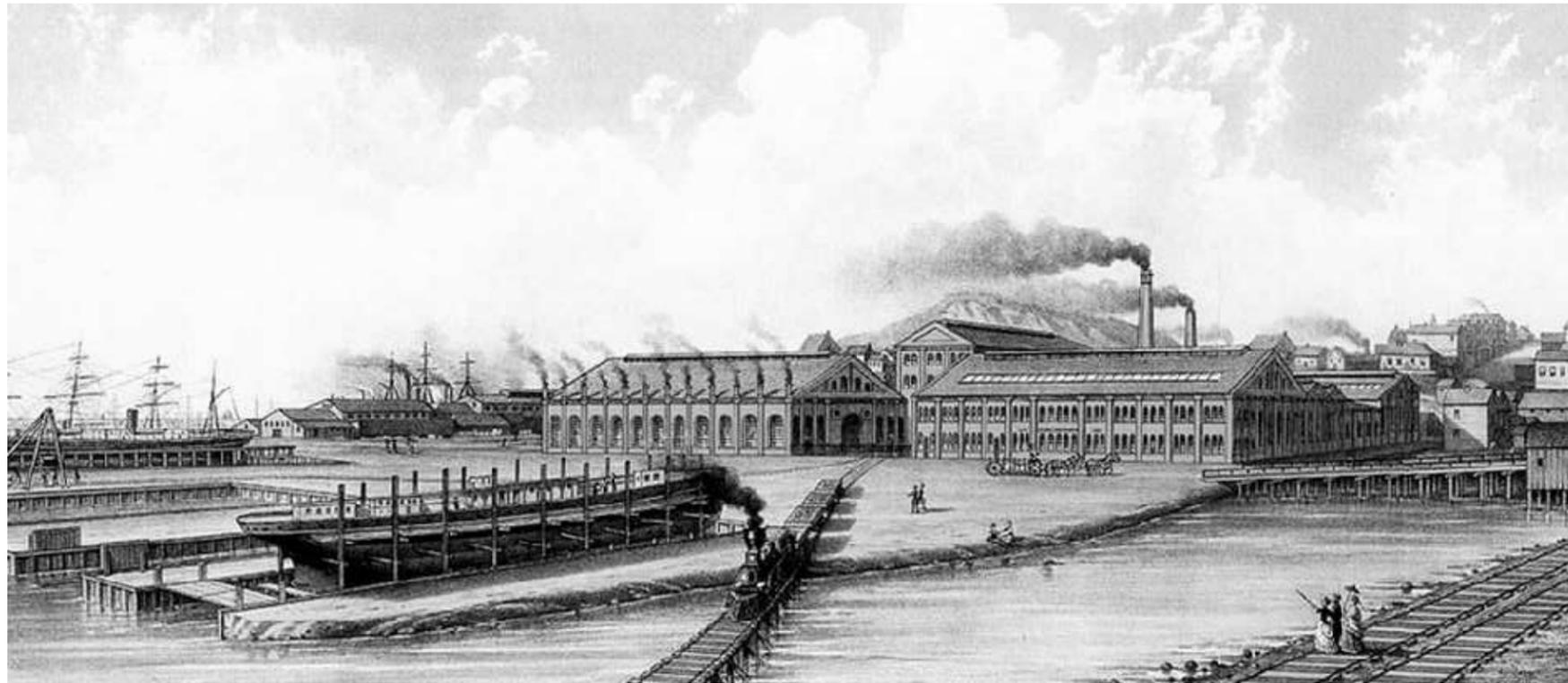
PKN - DESIGN INTENT STATEMENT



Railway at 20th and Illinois and Former Administrative Office Building



Workers Leaving the Shipyard, circa 1943



Union Iron Works

PIER 70 - HISTORY & FUTURE

The PKN development team is inspired by 150 years of industrial culture alive on Pier 70, and by the years-long community planning process now coming to life in this extraordinary setting.

The monumental structures remaining at the waterfront complex speak for San Francisco's greatest accomplishments in maritime manufacturing.

The Pier 70 masterplan framework creates the opportunity to preserve the story of this place while inviting elements of successful urban regeneration - preservation mixed with new development, waterfront access, transit orientation, and spaces for living, working, and congregating.

The PKN team's aim is to create a mixed-use development which celebrates the neighborhood's historical "art" of construction, and provides high quality housing opportunities and relevant commercial and maker spaces.

We are honored to take a vital first step towards the urban integration of this special place on the Central Waterfront.

NEIGHBORHOOD CHARACTER

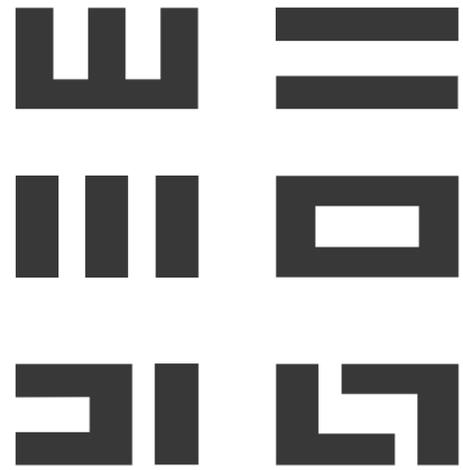
In the immediate surrounding of Parcel K North, we observe robust and refined building characteristics on East, North, and West opposing parcels.

Union Iron Works Historic District Building 113-116 presents a simple and iconic silhouette while containing a fine grain and weathered skin material – brick. Buildings 101 and 102 offer more classical facades. The American Industrial Center, just beyond the Historic District and the Pier 70 Special Use District, is also a simple, industrial mass with tactility in the rhythmic details of the long stretches of warehouse windows and an expressed structural frame.

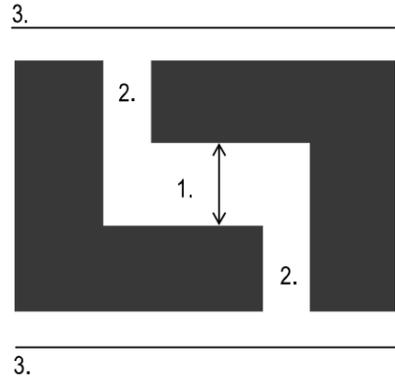
In light of this immediate context and the overall vision presented in the Pier 70 Design for Development, there are two primary design intentions for PKN: 1) to create a building that compliments the robust, straightforward massing of the neighboring buildings; 2) to “dress” that massing in layers of fine grain repetitive detail that establish texture and depth.



PKN - DESIGN INTENT STATEMENT

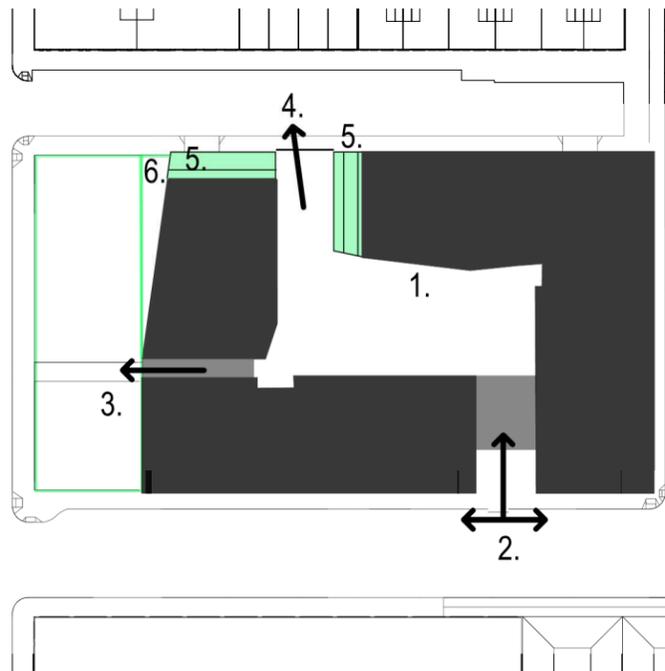


Initial Building Typology Studies



Selected Building Typology:

- 1. Multiple Internal Courtyard
- 2. Multiple Nodes for Circulation
- 3. Reduce Mass on Long Facades

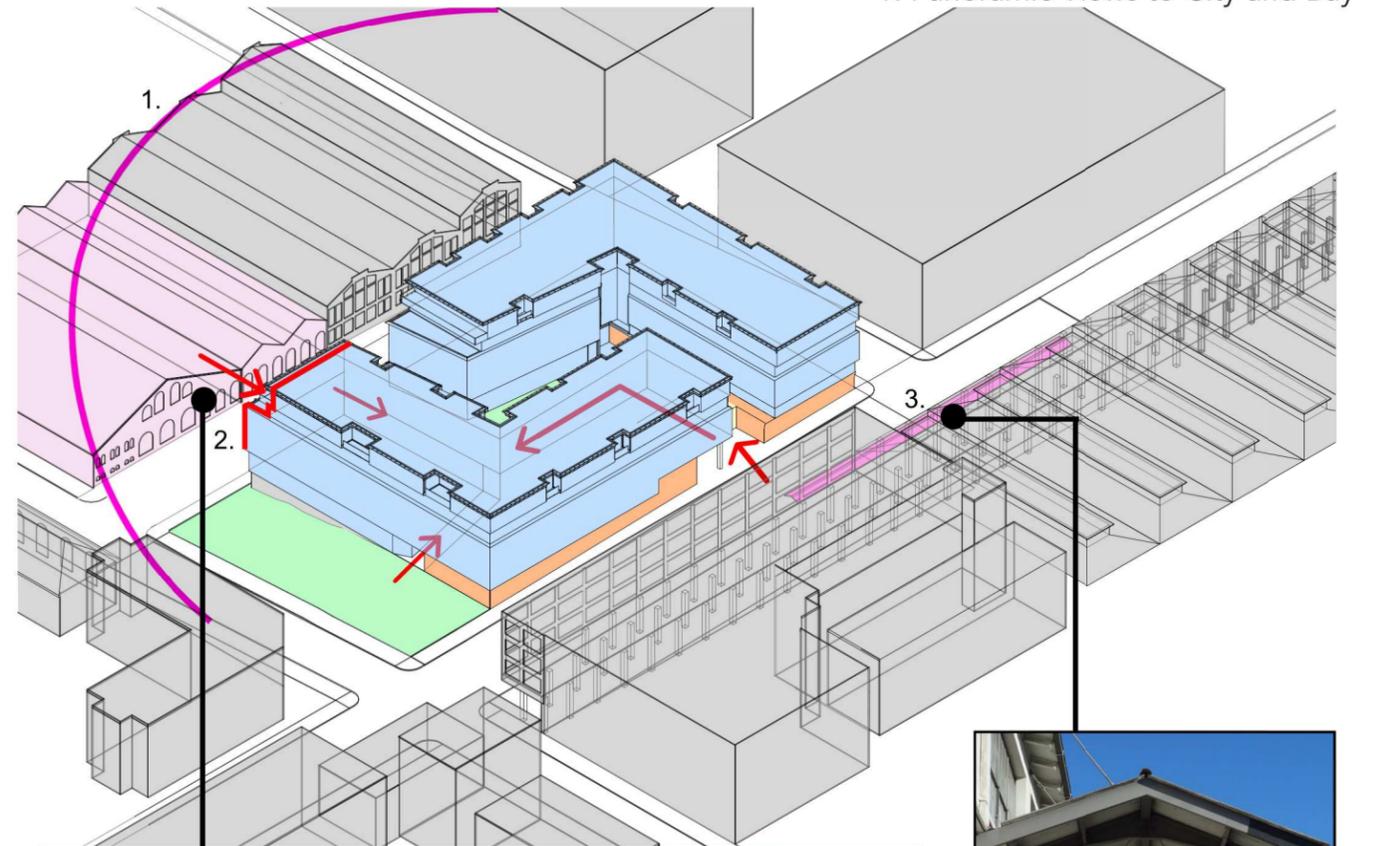


- 1. Taper Cut for Views
- 2. Primary Urban Connection on Illinois St.
- 3. Secondary Connection to 20th St. Plaza
- 4. Secondary Connection at Michigan Street
- 5. Setbacks at Historic Resource
- 6. Massing Pivot to Preserve View of Building 113

TPOLOGY AND MASSING STRATEGY



1. Panoramic Views to City and Bay



2. Upper Level Setbacks for Views and Relief at Adjacent Cultural Resource



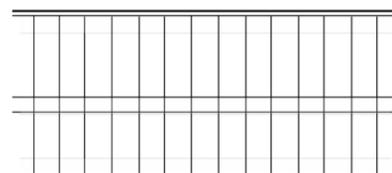
3. Illinois Street Sidewalk Canopy

PKN - DESIGN INTENT STATEMENT

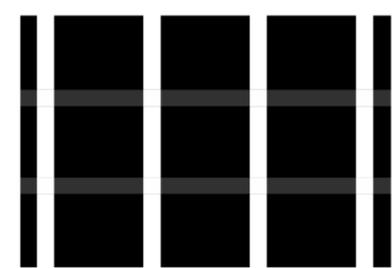


ARCHITECTURAL LANGUAGE

In our studies of the historic and industrial character of Pier 70, three architectural elements became evident and appropriately expressed: **The Pier, The Frame, and The Large Format Window.** The PKN project has been designed to create analogies between these elements and the historic character of Pier 70 architecture. Expressed as different facade types, the elements become a base, middle, and top. At the base, the strong perimeter columns evoke the piers and docks of the waterfront, and celebrate the industrial colonnade and strong vertical grounding of industrial architecture. In the middle, the frame is a robust articulation of building structure and is clad in a profile with high relief. At the top, the large format window evokes the warehouse skylight and ventilation gallery.



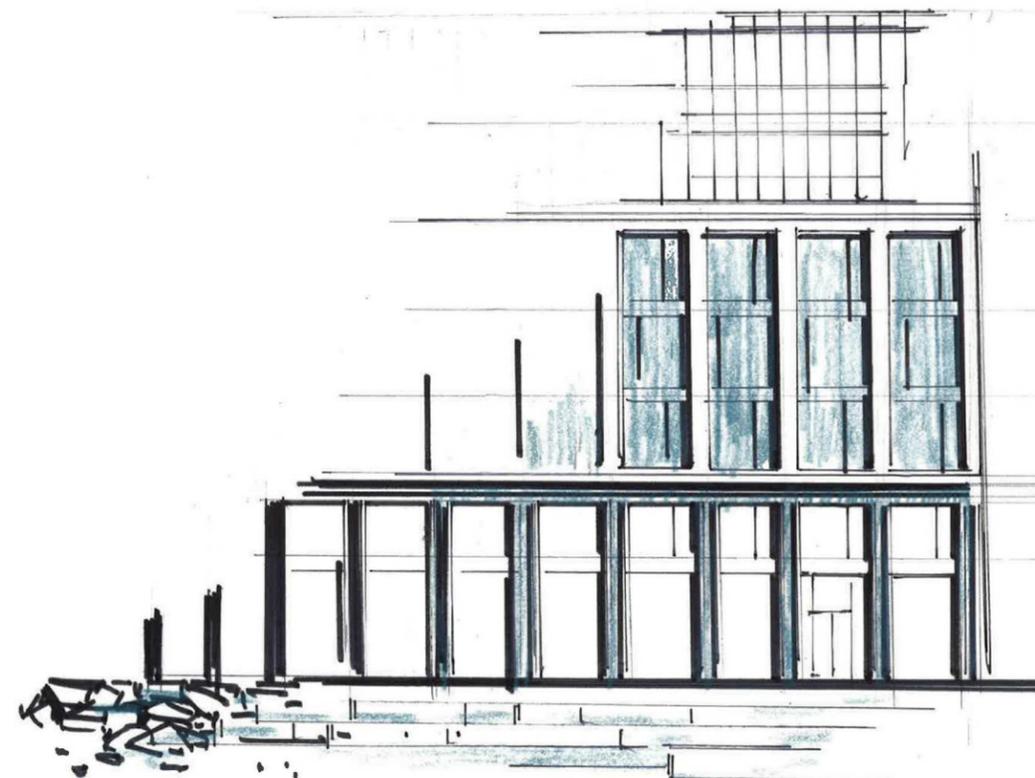
Window
Solarium
Ship's Bridge



Frame
Warehouse
Factory



Pier
Arcade
Colonnade



WINDOW

+

FRAME

+

PIER



PKN - LOCAL PRECEDENT IMAGERY



PKN - INTERNATIONAL PRECEDENT IMAGERY



VICINITY MAP / LOCAL CONTEXT PHOTOS



A



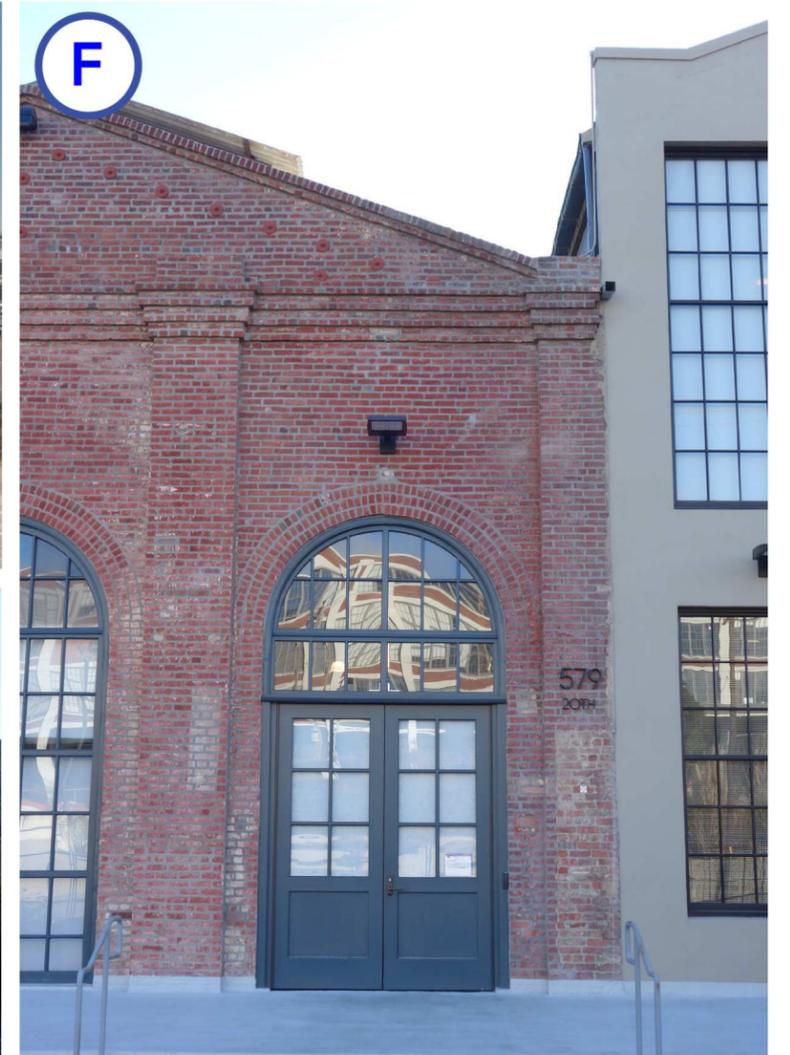
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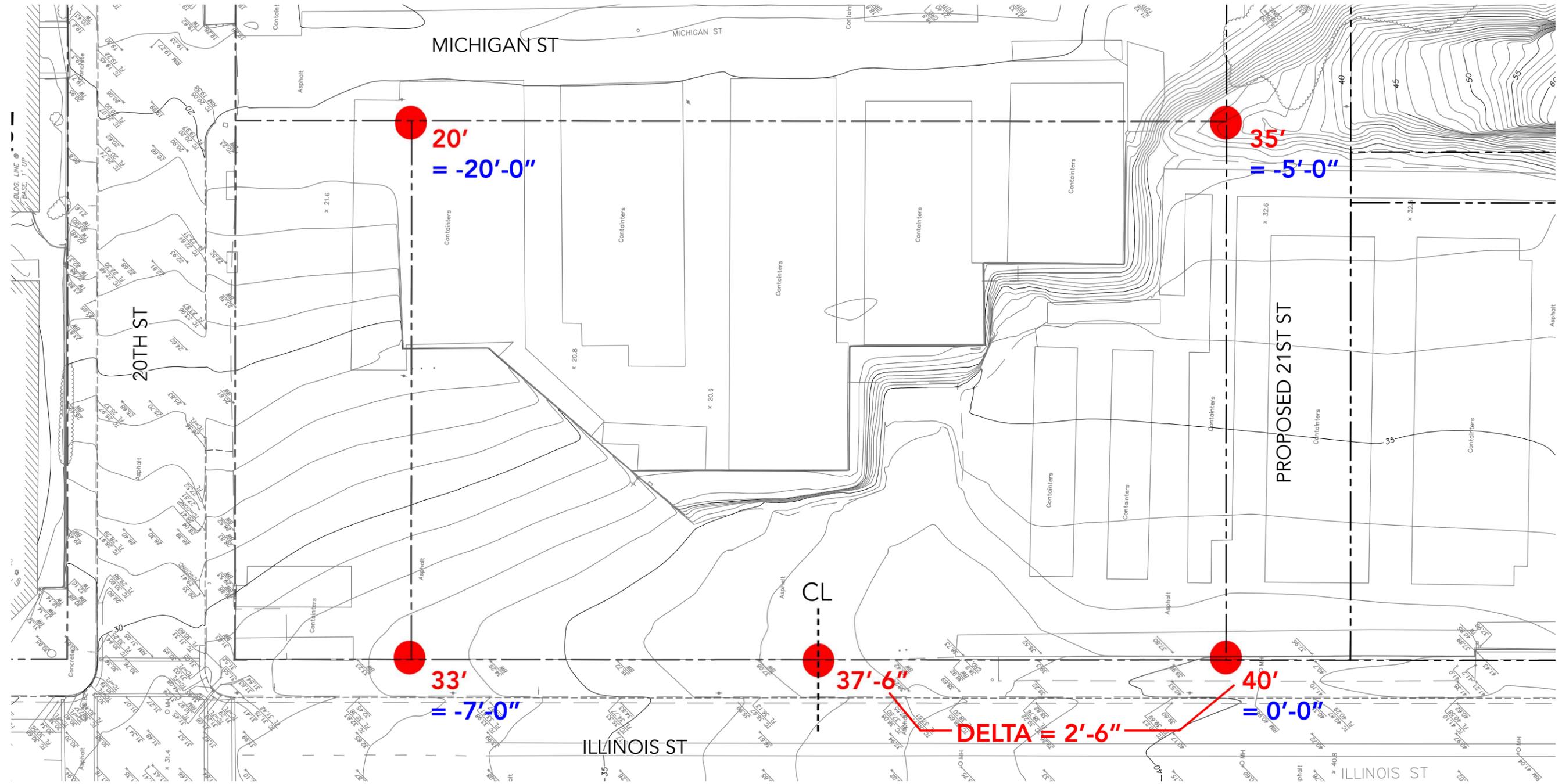
VICINITY MAP / LOCAL CONTEXT PHOTOS



EXISTING SITE PLAN

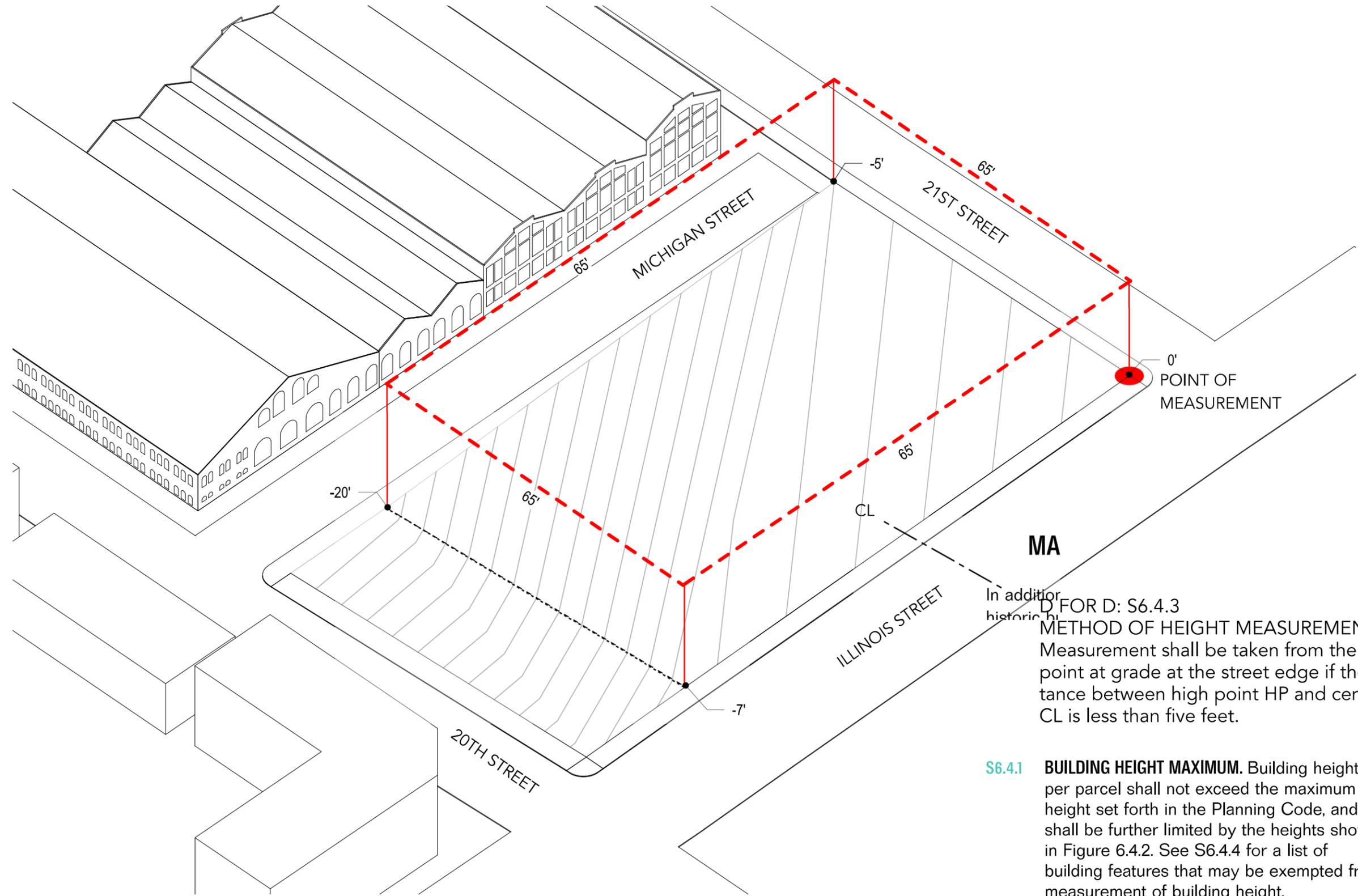


EXISTING SITE TOPOGRAPHY



D FOR D: S6.4.3
 METHOD OF HEIGHT MEASUREMENT
 Measurement shall be taken from the highest point at grade at the street edge if the distance between high point HP and centerline CL is less than five feet.

HEIGHT MEASUREMENT DIAGRAM - ISOMETRIC - D4D 6.4.1



MA
 In addition to historic height
FOR D: S6.4.3
METHOD OF HEIGHT MEASUREMENT
 Measurement shall be taken from the highest point at grade at the street edge if the distance between high point HP and centerline CL is less than five feet.

S6.4.1 BUILDING HEIGHT MAXIMUM. Building height per parcel shall not exceed the maximum height set forth in the Planning Code, and shall be further limited by the heights shown in Figure 6.4.2. See S6.4.4 for a list of building features that may be exempted from measurement of building height.

PROPOSED SITE PLAN



PKN MANAGER LLC - PRESIDIO BAY VENTURES
PKN
HANDEL ARCHITECTS - MSLA

DATA SUMMARY - PROPOSED VERTICAL PROJECT - See Complete Design for Development Compliance Statement On Pages 50-59

GROSS FLOOR AREA

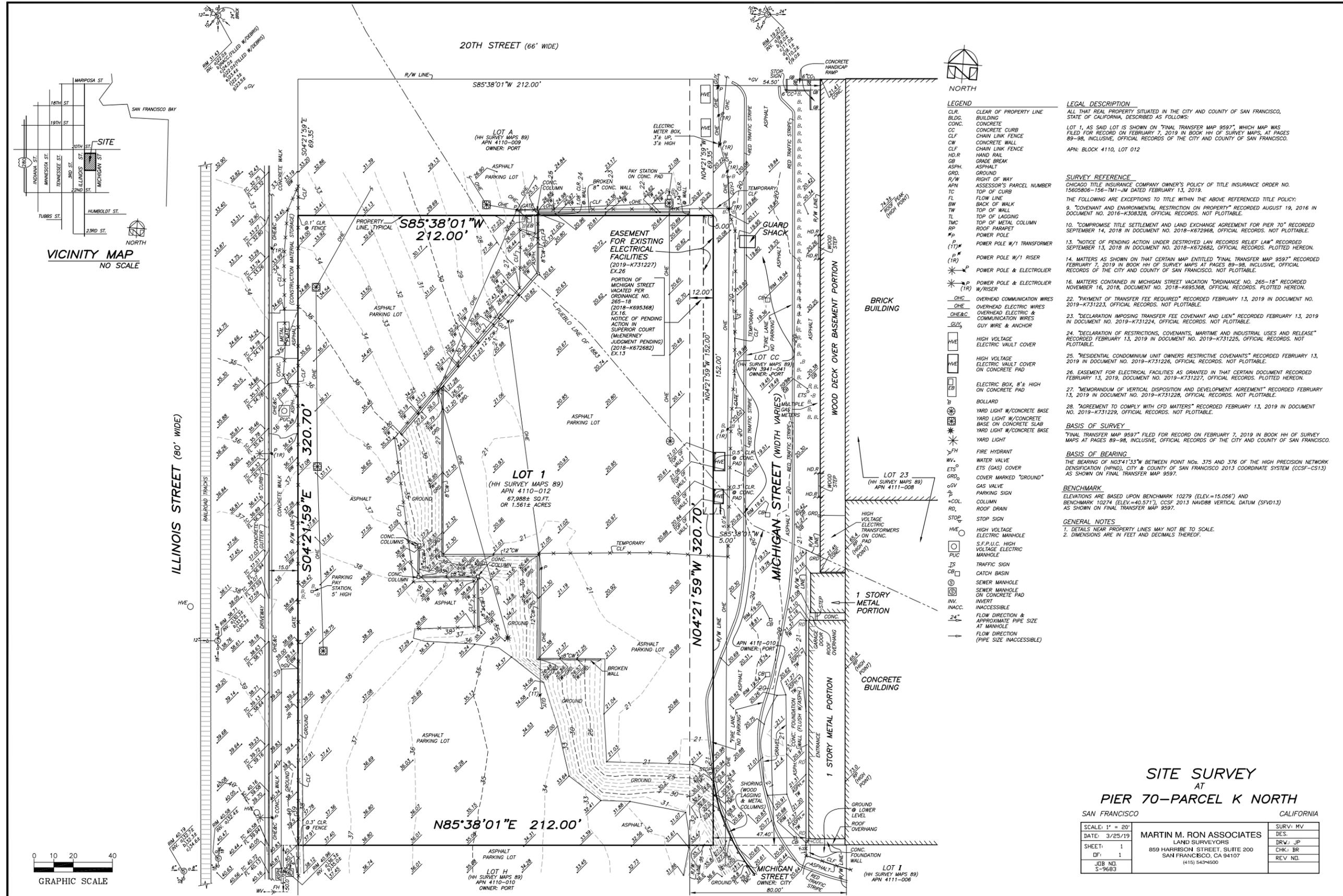
LEVEL	BUILDABLE GROSS AREA									TOTAL GROSS BUILDABLE AREA
	RESIDENTIAL USE FLOOR AREA				NON-RESIDENTIAL USE FLOOR AREA					
	UNITS	AMENITY	SHAFT, CORRIDOR, STAIRS, ETC.	RESIDENTIAL USE SUBTOTAL	GROUND FLOOR BUILDING CIRCULATION	BIKE PARKING	PARKING AND BASEMENT OR ROOF TECHNICAL SPACES	RETAIL & COMMERCIAL SPACES	NON-RESIDENTIAL USE AND EXEMPTED SUBTOTAL	
ROOF LEVEL							1,370		1,370	2,740
LEVEL 6	38,189		6,779	44,968					0	44,968
LEVEL 5	39,735		7,406	47,141					0	47,141
LEVEL 4	41,316		8,132	49,448					0	49,448
LEVEL 3	41,351		8,097	49,448					0	49,448
LEVEL 2	37,928		7,913	45,841					0	45,841
LEVEL 1	18,389	7,190	6,210	31,789	5,795			11,308	17,103	48,892
B MEZZ						1,726	37,745		39,471	39,471
B WALK-UPS	4,820		1,330	6,150			43,407		43,407	49,557
TOTAL	221,728	7,190	45,867	274,785	5,795	1,726	82,522	11,308	101,351	377,506

UNIT MATRIX

TYPE	QUANTITY	MIX	AVG SIZE
ST	12	5%	450.0
JR-1	8	3%	600.0
1	105	43%	750.0
2	98	40%	1200.0
3	22	9%	1500.0
TOTAL	245	100%	

ZONING CONTROL	REQUIREMENT	PROVIDED
PROJECT VDDA SCOPE OF DEVELOPMENT	Residential Gross Square Footage: Up to 274,785 GSF Residential Unit Count: 240 to 270 Units Commercial/Retail/Arts/Light Industrial Gross Square Footage: Up to 13,200 GSF (Office use shall not exceed 6,600 GSF)	Residential: 274,785 GSF Residential Unit Count: 245 Units Commercial/Retail/Arts/Light Industrial: 11,308 GSF (Office use shall not exceed 6,600 GSF)
HEIGHT, D4D Section 6.4	65'	65' Refer to Height Measurement Diagrams
REAR YARD, D4D Section 6.12.2	N/A Lots within the Project shall not be required to comply with the rear yard requirements set in Planning Code Section 134.	N/A , not provided
RESIDENTIAL USABLE OPEN SPACE, D4D Section 6.12.1	Usable open space equivalent to 40 square feet per dwelling unit 245 units - 35 units with qualifying private open space = 210 units 210 units x 40 sq ft = 8,400 sq ft of common usable open space required	11,387 SF common usable open space provided at Courtyard 10,905 SF potential common usable open space provided at Roof Deck
PARKING	Accessory parking of up to .6 spaces per residential unit 245 D.U. x 0.6 spaces = 147 spaces Accessible Off-Street Parking: 1 space for each 25 off-street parking spaces provided 147 spaces / 25 spaces = 6 spaces	147 total parking spaces provided Not to Exceed 0.6 for final actual unit count. 6 accessible parking spaces provided
CAR SHARE, D4D S5.2.1, SF Planning Section 166	2 spaces, plus 1 for every 200 dwelling units over 200: 2 car share parking spaces are required	2 car share parking spaces
OFF-STREET FREIGHT LOADING D4D Table 5.5.1	Residential: For 0 - 275 Units, 1 space is required On-Street or Off-Street Commercial and R.A.L.I.: For spaces between 0 - 50,000 GFA, Loading spaces are not required.	Residential: 1 On-Street Loading space will be provided on Michigan St. per Figure 5.5.1, Illustrative Plan of Loading Access. Commercial and R.A.L.I.: Loading not Provided
GROUND FLOOR TO FLOOR HEIGHT	14'0" Minimum	Min. 14'0" provided at Ground Floor.
RESIDENTIAL BICYCLE PARKING D4D S5.1.1, SF Planning Section 155.2	100 Class 1 spaces plus one Class 1 space for every four Dwelling Units over 100 1 Class 2 space per 20 dwelling units Class 1 : 100 + [145 units / 4 = 36] = 136 Class 1 spaces Class 2 : 245 units / 20 Class = 12 Class 2 spaces	136 Class 1 bike spaces (D4D S5.1.2 - Class 1 bicycle parking for residential shall dedicate a minimum of 5% of bicycle parking spaces for Cargo and Trailer Bikes) 12 Class 2 bike spaces
NON RESIDENTIAL - BICYCLE PARKING D4D S5.1.1, SF Planning Section 155.2	Retail Sales and Services: Class 1: 1 space per 7,500 SF of Occupied Floor Area - 11,500/7500 = 2 Spaces Class 2: 1 space per 2,500 SF of Occupied Floor Area - 11,500 / 2,500 = 5 Spaces	2 Class 1 bike spaces 5 Class 2 bike spaces

SITE SURVEY



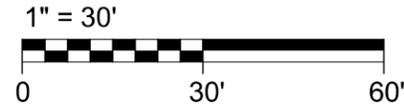
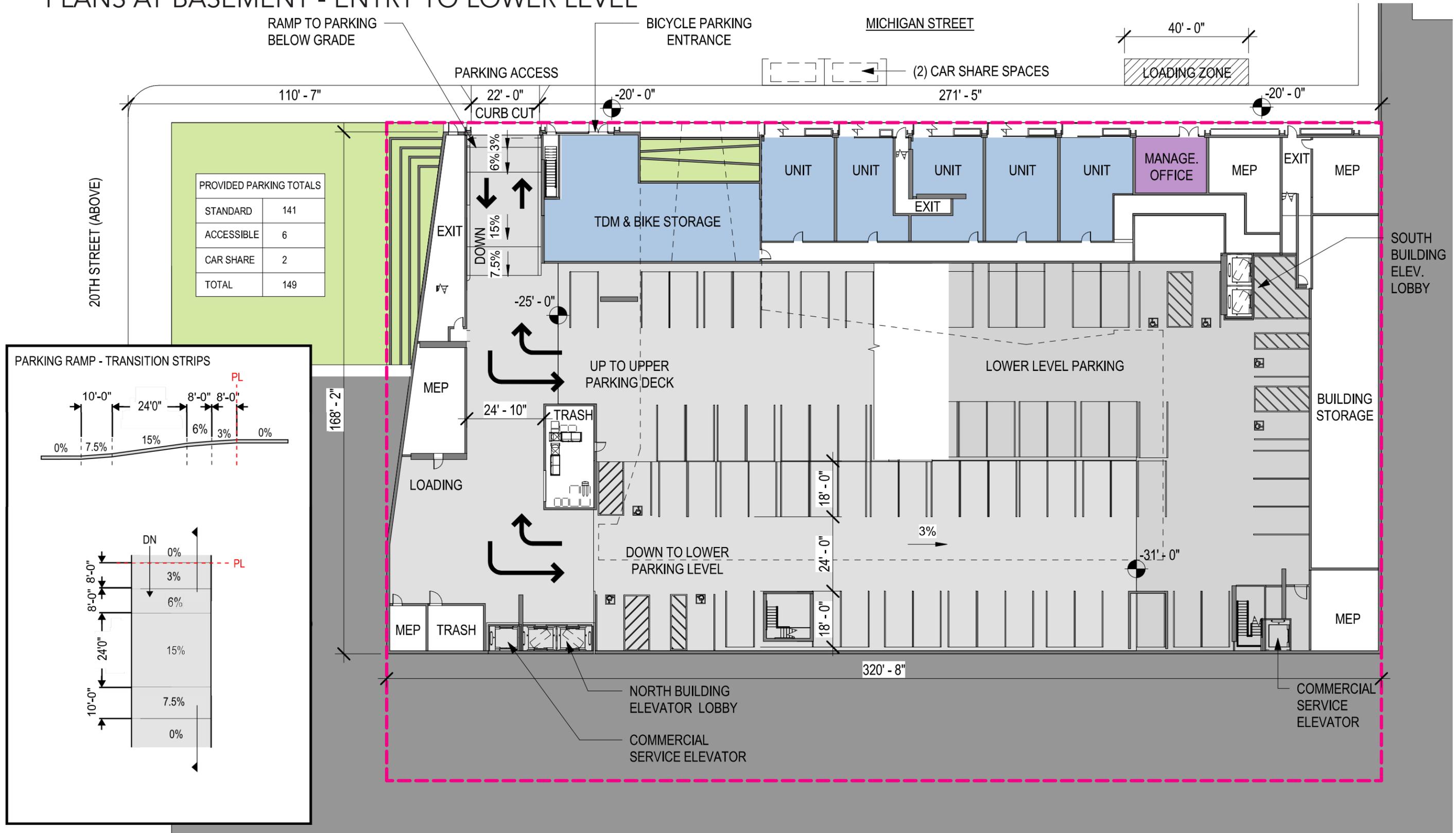
SITE SURVEY
AT
PIER 70-PARCEL K NORTH

SAN FRANCISCO		CALIFORNIA	
SCALE: 1" = 20'	DATE: 3/25/19	SURV: MV	DES:
SHEET: 1	DR: J.P.	CHK: BR	REV: NI
DF: 1	859 HARRISON STREET, SUITE 200 SAN FRANCISCO, CA 94107	(415) 543-4500	
JOB NO. S-9683			

PLAN AT LEVEL 1 WITH LANDSCAPE

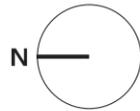


PLANS AT BASEMENT - ENTRY TO LOWER LEVEL



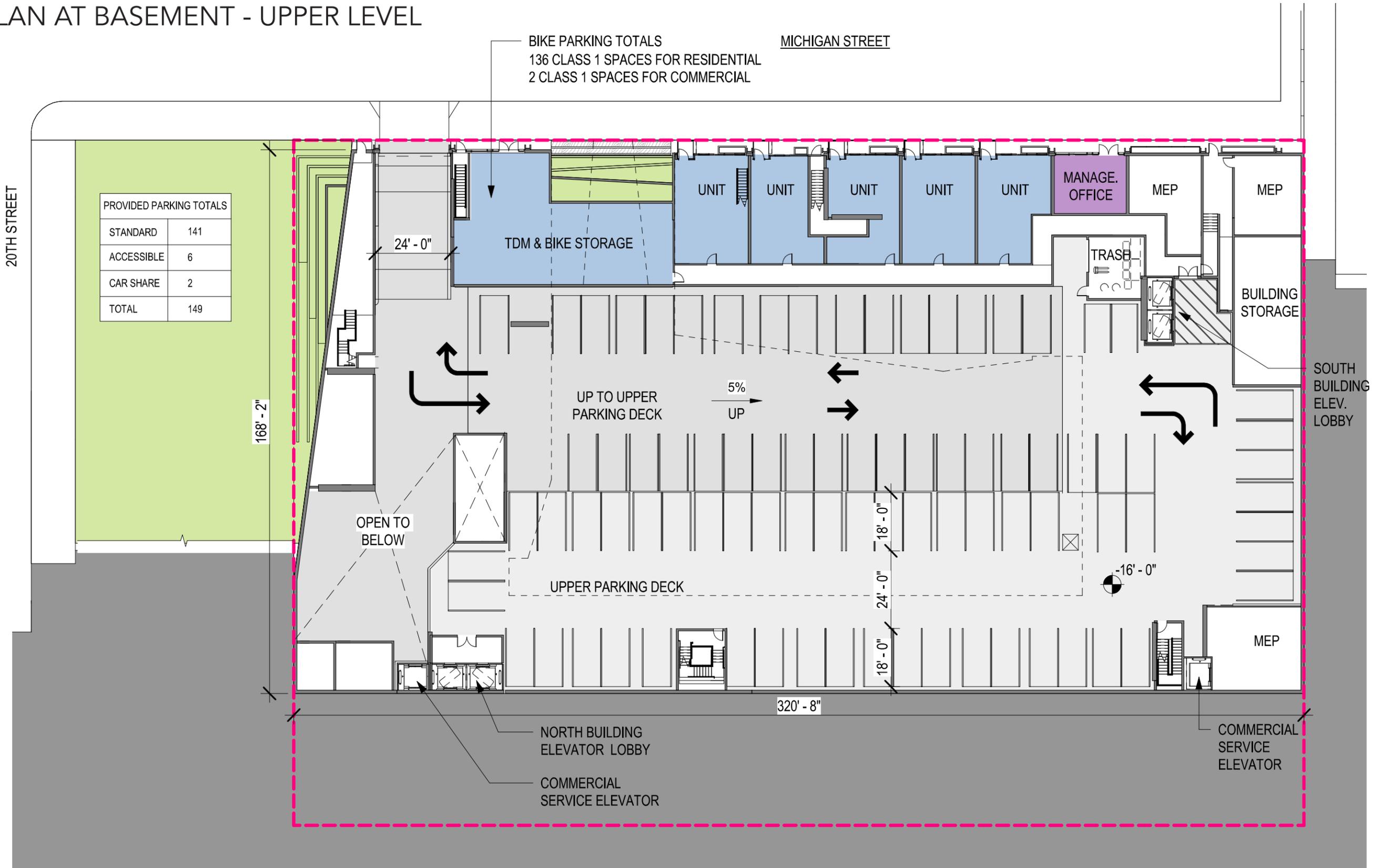
ILLINOIS STREET (ABOVE)

NOTE: PROJECT TEAM CURRENTLY STUDYING ALTERNATE PARKING LAYOUTS



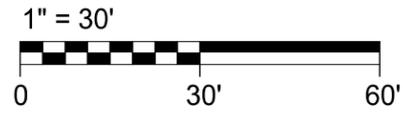
HANDEL ARCHITECTS - MSLA
 PKN
 PKN MANAGER LLC - PRESIDIO BAY VENTURES

PLAN AT BASEMENT - UPPER LEVEL



BIKE PARKING TOTALS
 136 CLASS 1 SPACES FOR RESIDENTIAL
 2 CLASS 1 SPACES FOR COMMERCIAL

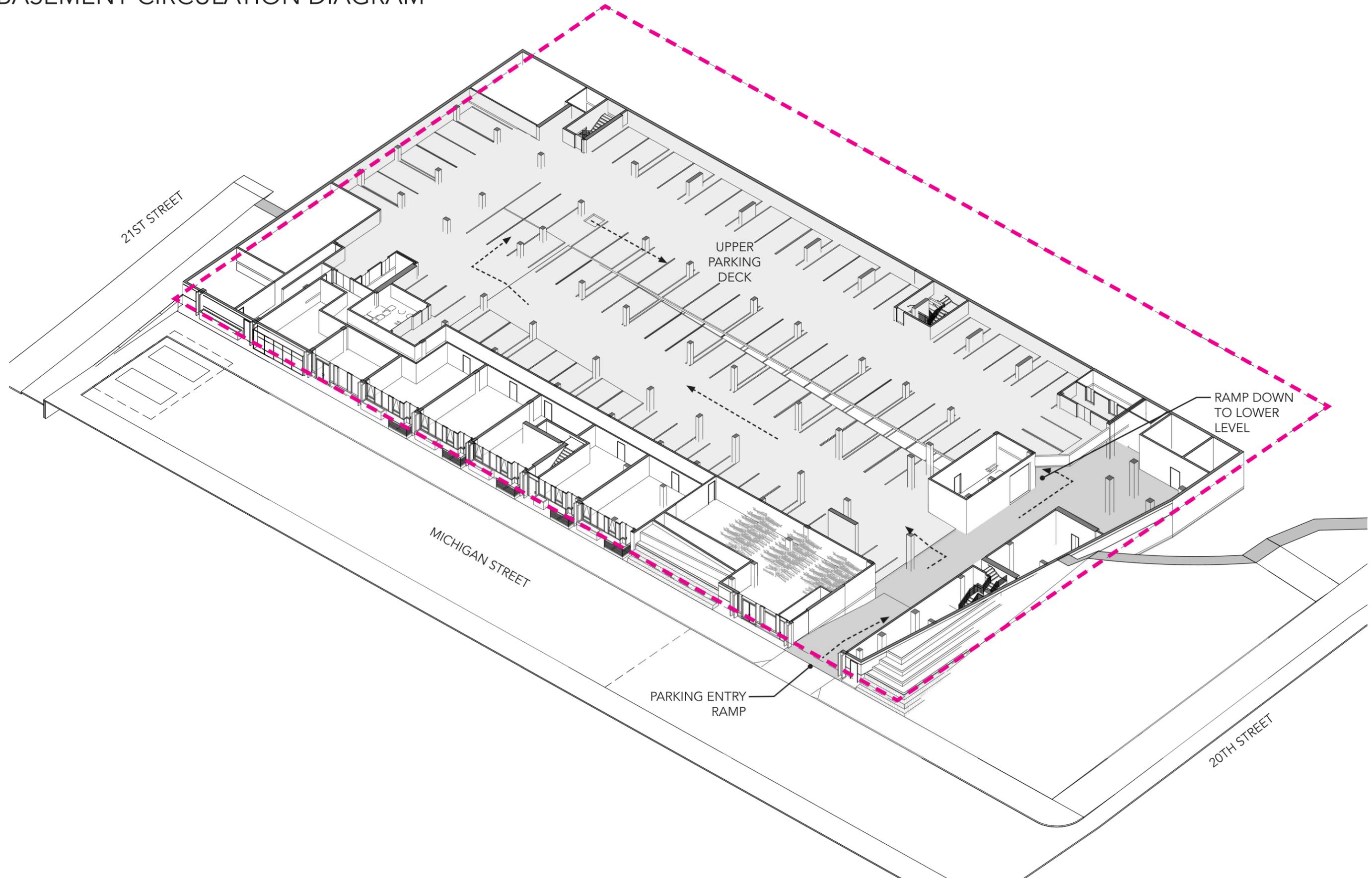
PROVIDED PARKING TOTALS	
STANDARD	141
ACCESSIBLE	6
CAR SHARE	2
TOTAL	149



NOTE: PROJECT TEAM CURRENTLY STUDYING ALTERNATE PARKING LAYOUTS



BASEMENT CIRCULATION DIAGRAM



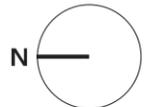
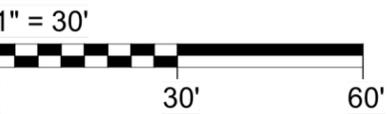
PLAN AT LEVEL 2

MICHIGAN STREET

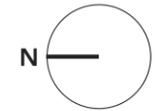
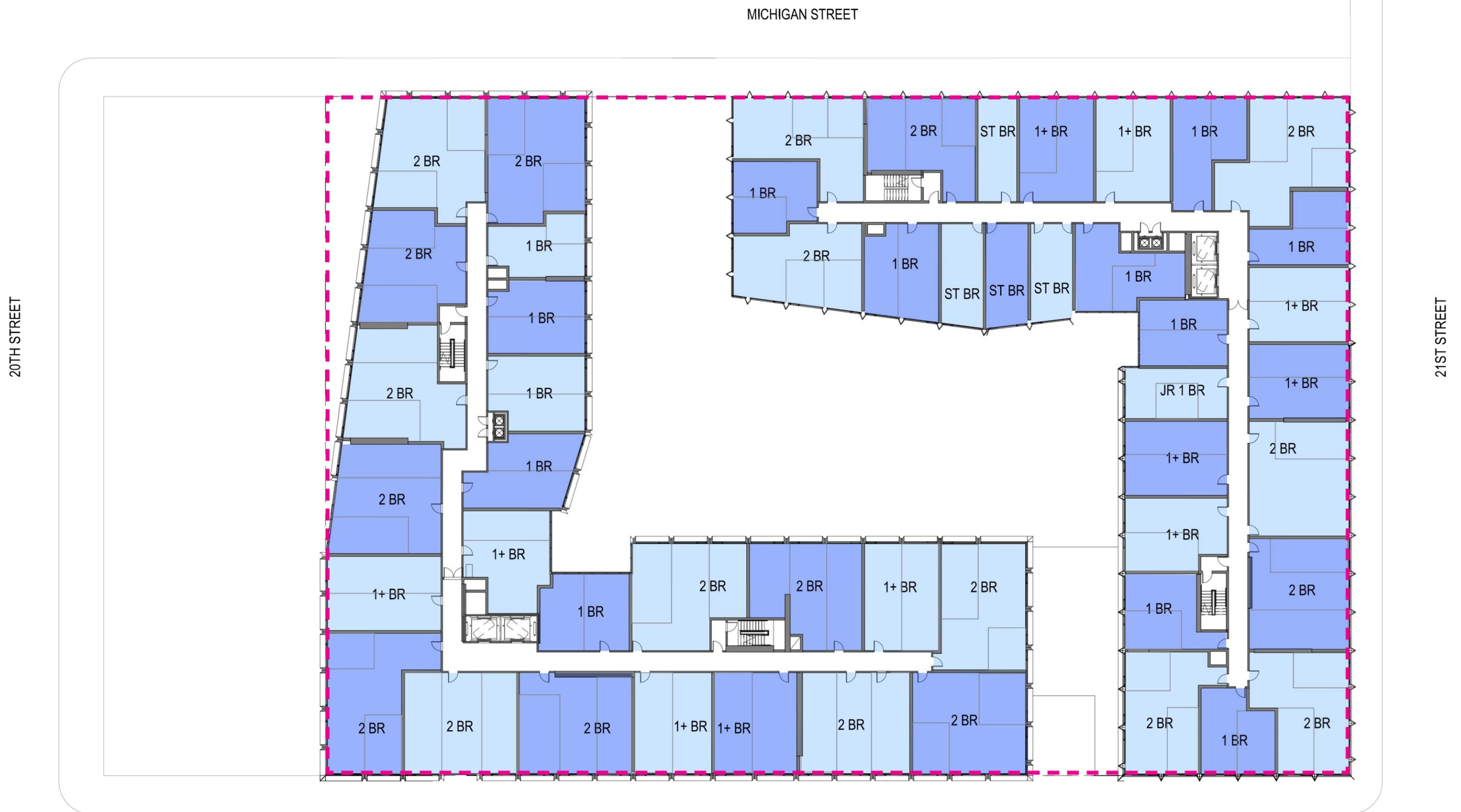
20TH STREET

21ST STREET

ILLINOIS STREET



PLAN AT LEVEL 3



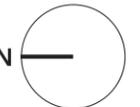
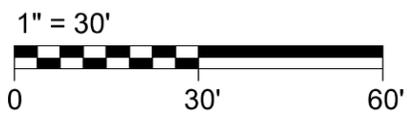
PLAN AT LEVEL 4

MICHIGAN STREET

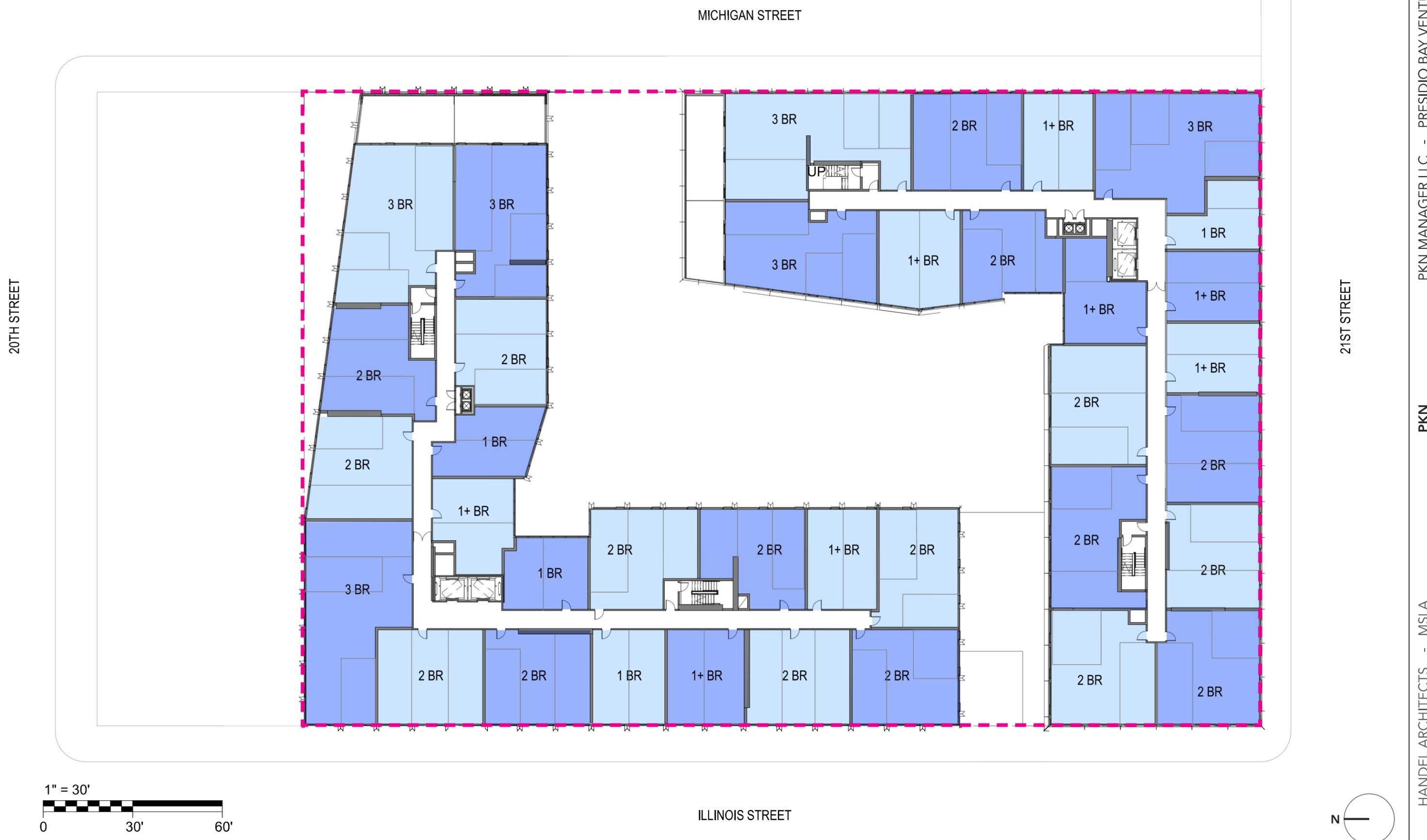
20TH STREET

21ST STREET

ILLINOIS STREET



PLAN AT LEVEL 5



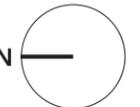
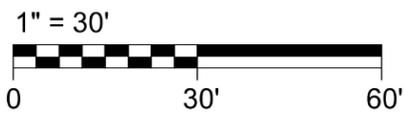
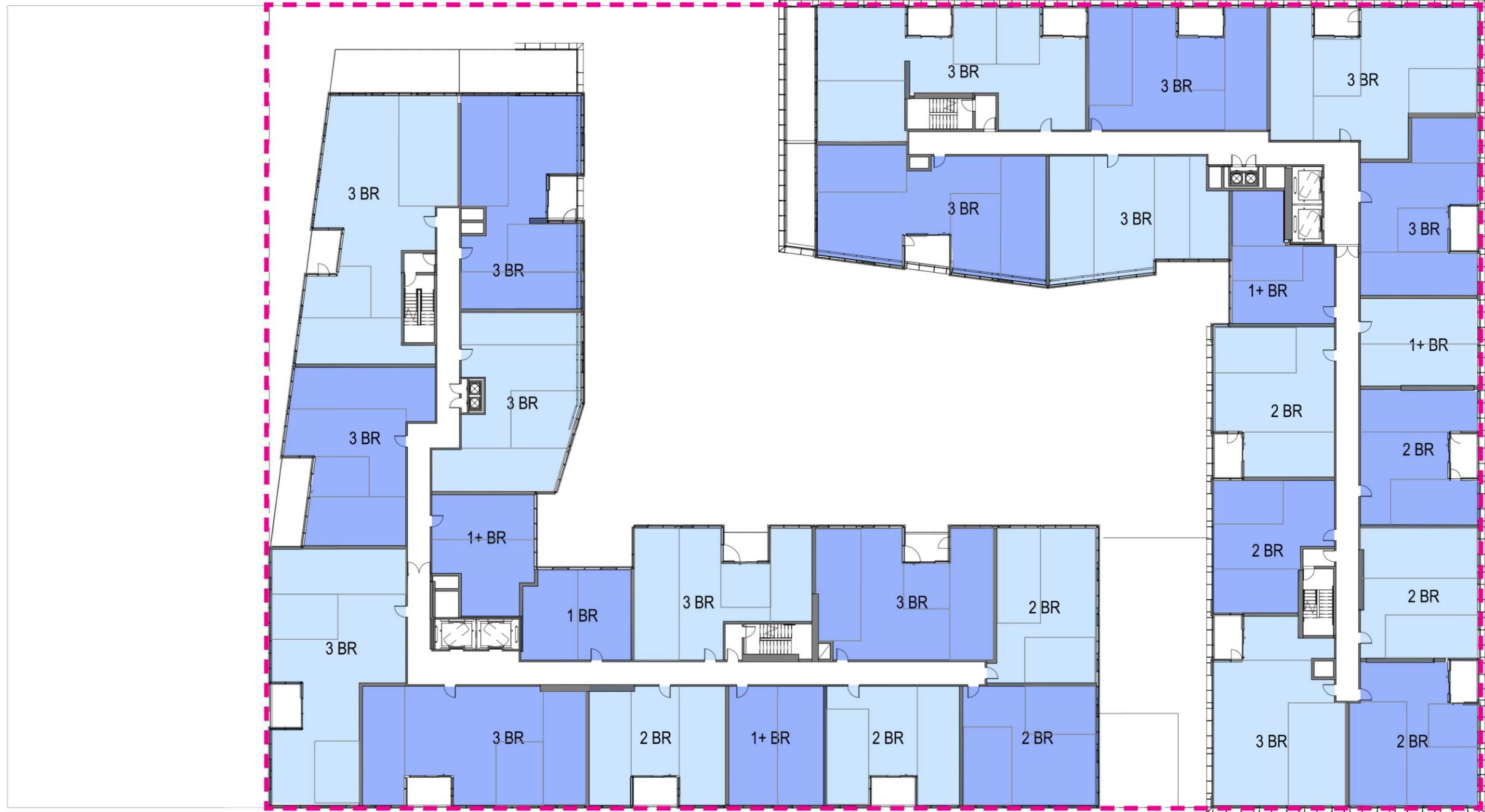
PLAN AT LEVEL 6

MICHIGAN STREET

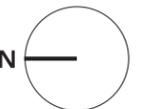
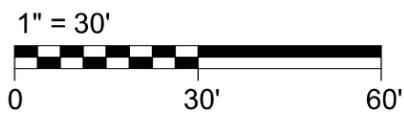
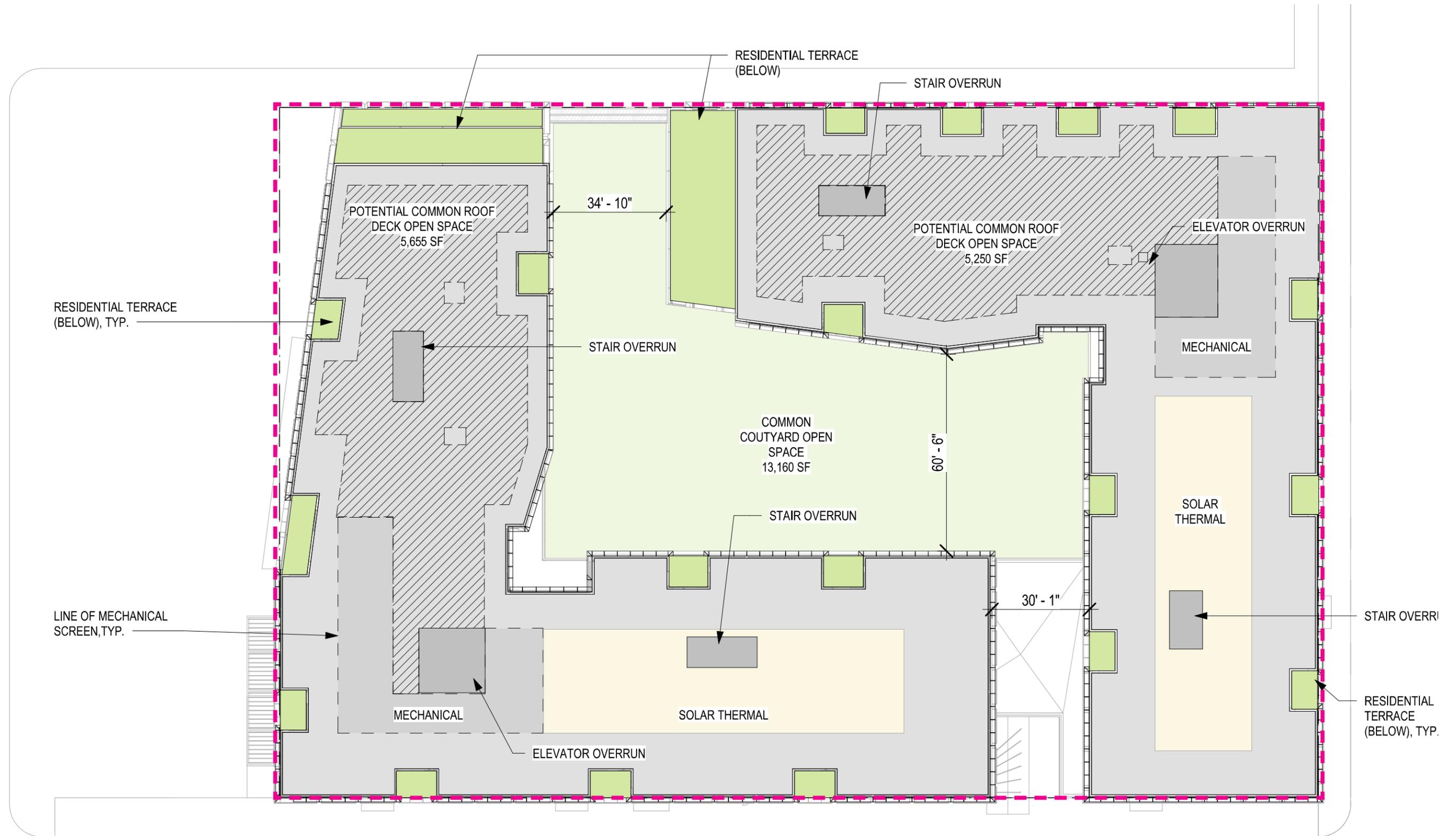
20TH STREET

21ST STREET

ILLINOIS STREET



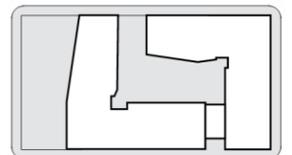
PLAN AT ROOF



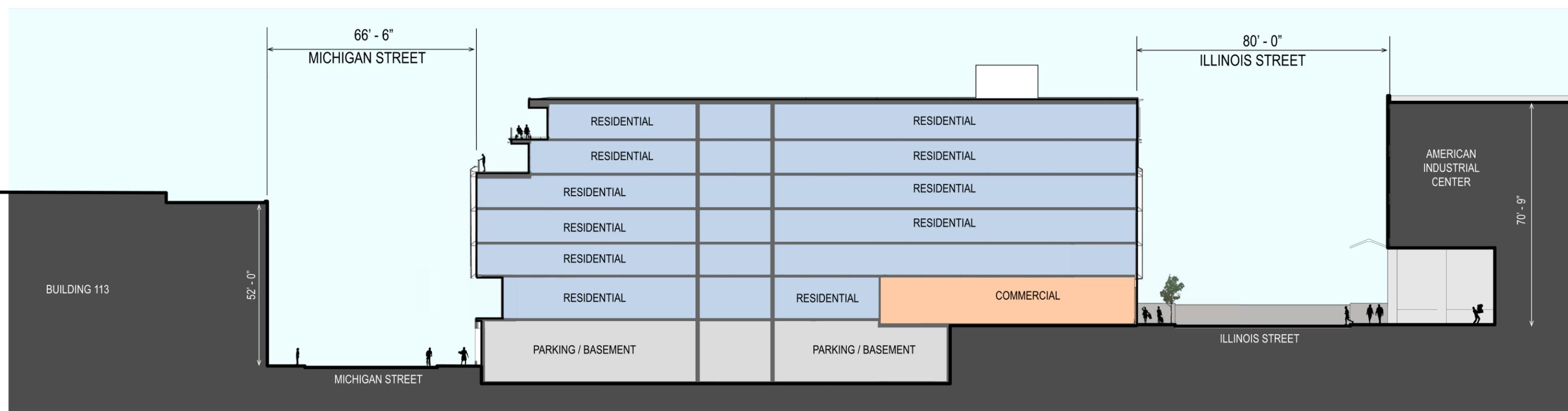
SITE SECTION - NORTH/SOUTH



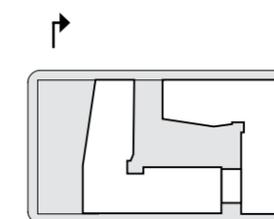
SCALE: 1"=30'



SITE SECTION - EAST/WEST



SCALE: 1"=30'



PKN MANAGER LLC - PRESIDIO BAY VENTURES

PKN

HANDEL ARCHITECTS - MSLA

VIEW FROM ILLINOIS STREET FROM NORTH



ENLARGED VIEW FROM ILLINOIS STREET FROM NORTH



VIEW FROM MICHIGAN AND 20TH STREET



ENLARGED VIEW FROM MICHIGAN AND 20TH STREET



VIEW FROM MICHIGAN STREET



ENLARGED VIEW FROM MICHIGAN STREET



VIEW FROM ILLINOIS STREET FROM SOUTH



VIEW FROM ILLINOIS - MAIN RESIDENTIAL ENTRY



PROPOSED MATERIALS AT GROUND FLOOR & STREETScape



High Performance Glass



Metal-Framed Glazing Assembly System



Precast Concrete Frames with Integral Color, Polishing, and Applied Glaze



Cladding - Brushed or Patinated Metal



Cladding - Patinated Light Metal



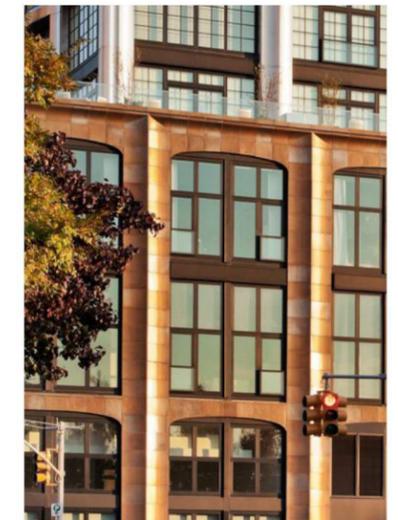
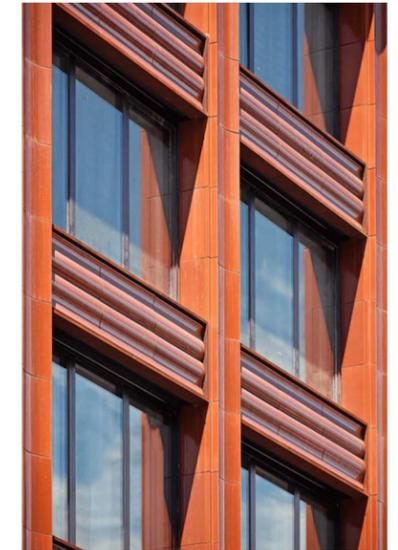
Precast Concrete Frames with Integral Color, Polishing, and Applied Glaze



Oil Rubbed or Patinated Dark Metal Cladding



Adhered Stone Veneer at Base of Storefronts



CONTEMPORARY BUILDING PRECEDENTS FORMED CONCRETE / MASONRY

PROPOSED BUILDING MATERIALS



Precast Concrete frames with Integral Color, Polishing, and Applied Glaze



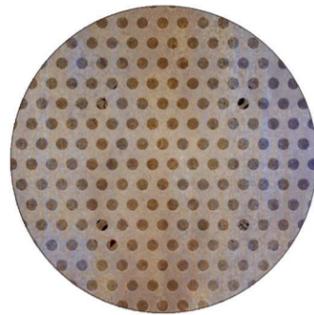
High Performance Glass • • • Metal-Framed Glazing Assembly System



Oil Rubbed or Patinated Dark Metal Cladding



Textured Concrete Board-Formed Pattern



Perforated Patinated Metal



PROPOSED NORTH ELEVATION



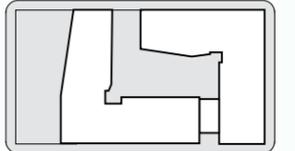
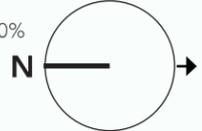
RESIDENTIAL GROUND FLOOR (LVL 1 DWELLING UNITS)
TRANSPARENCY 49% > Min. 25%

RESIDENTIAL GROUND FLOOR
(SECONDARY ENTRANCE)
TRANSPARENCY 85% > Min. 50%

NON-RESIDENTIAL USE
GROUND FLOOR (RETAIL)
TRANSPARENCY 64% > Min. 60%

NORTH BUILDING

SCALE: 1/16" = 1'-0"



PROPOSED SOUTH ELEVATION



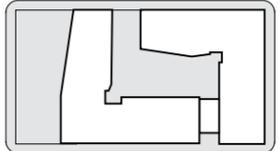
NON-RESIDENTIAL USE GROUND FLOOR TRANSPARENCY 71% > Min. 60%

RESIDENTIAL GROUND FLOOR (LVL 1 FITNESS) TRANSPARENCY 52% > Min. 50%

RESIDENTIAL GROUND FLOOR (LVL 1 DWELLING UNITS) TRANSPARENCY 57% > Min. 25%

SOUTH BUILDING

SCALE: 1/16" = 1'-0"



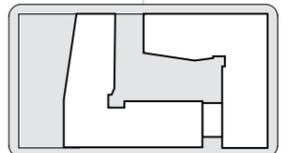
PKN MANAGER LLC - PRESIDIO BAY VENTURES
PKN
HANDEL ARCHITECTS - MSLA

PROPOSED WEST ELEVATION

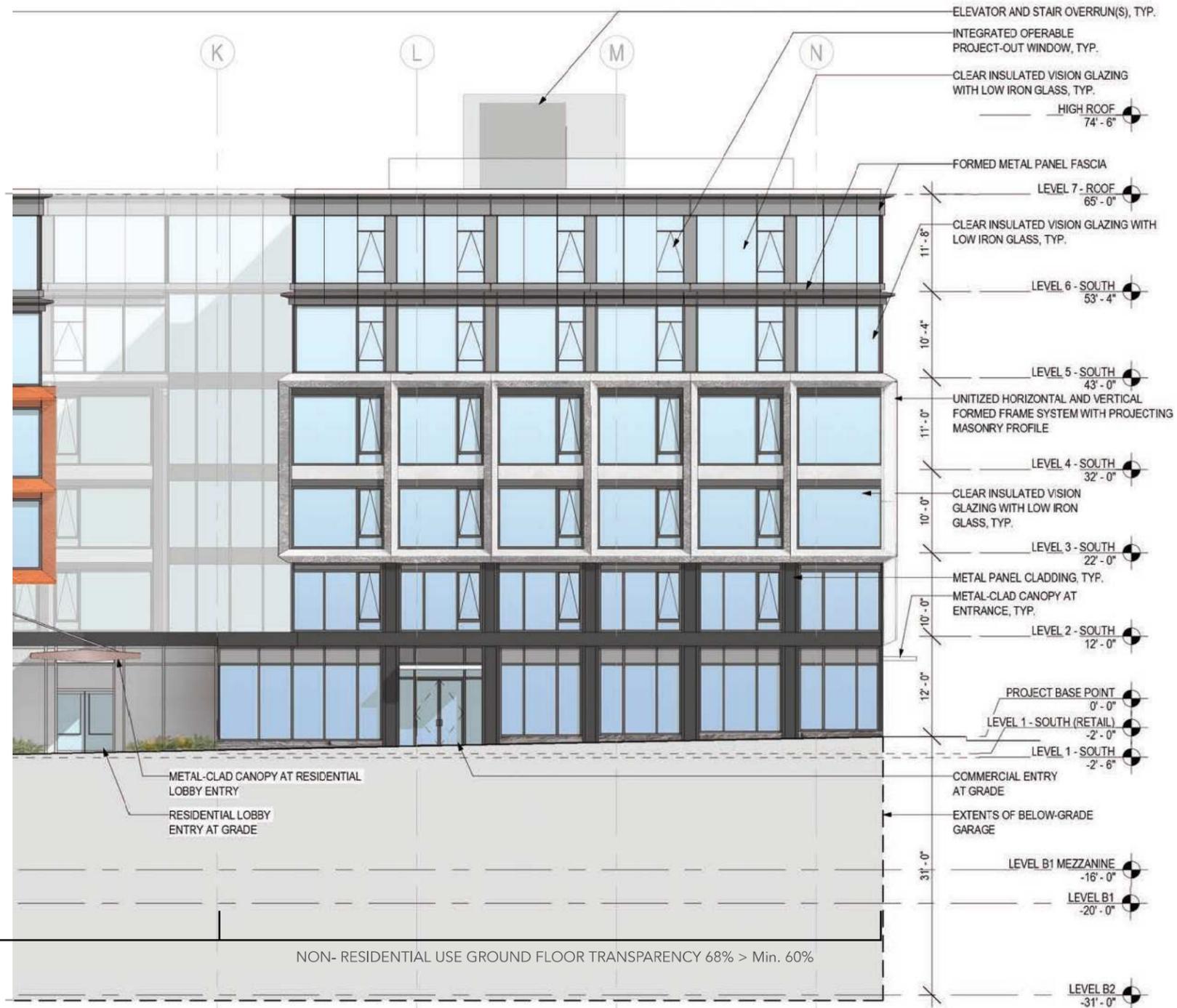


NORTH BUILDING

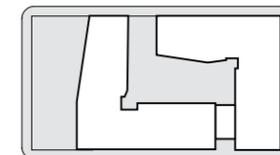
SCALE: 1/16" = 1'-0"



PROPOSED WEST ELEVATION



SOUTH BUILDING
SCALE: 1/16" = 1'-0"

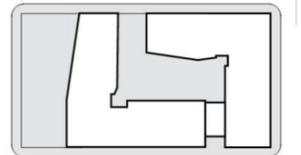
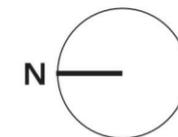


PROPOSED EAST ELEVATION

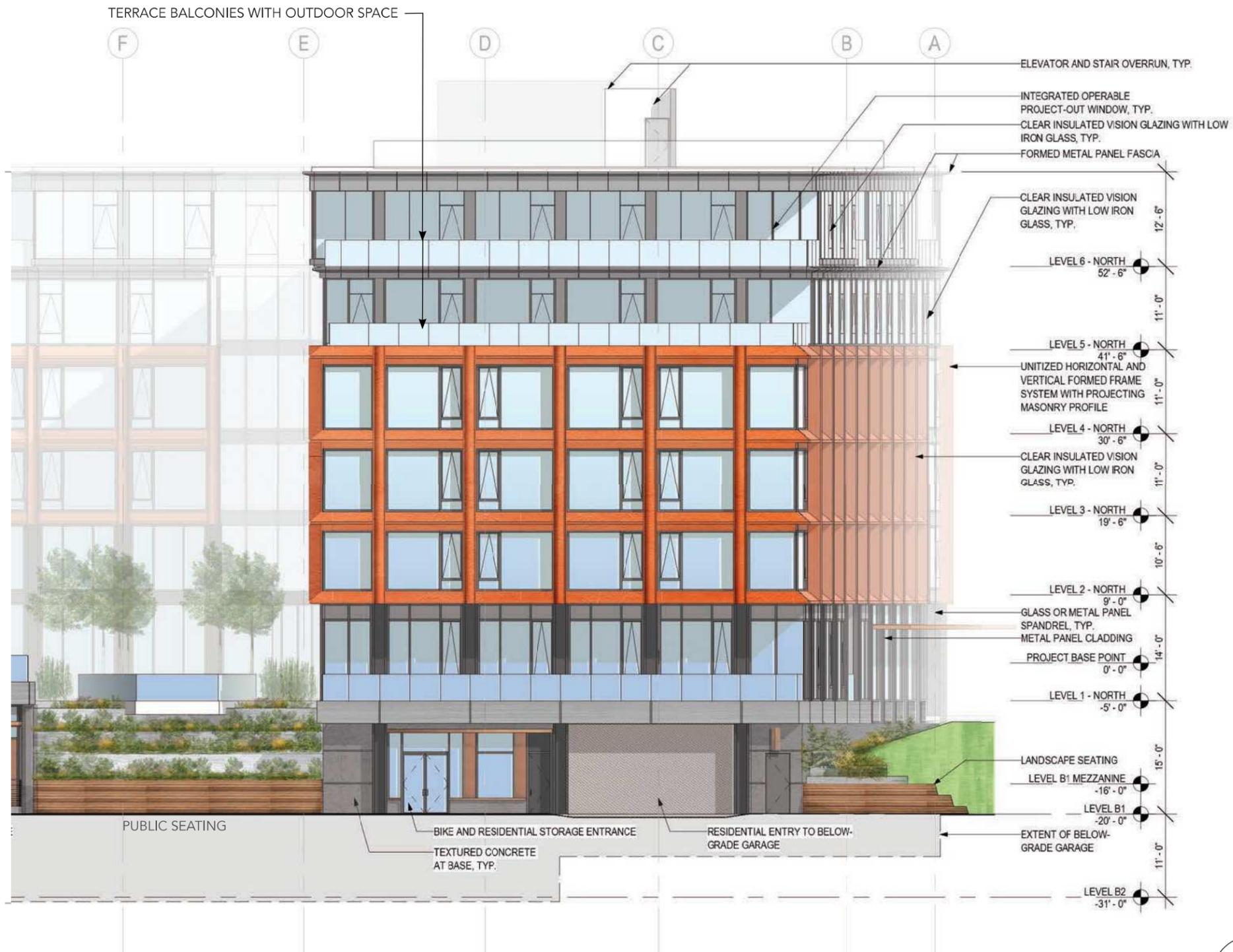


NORTH BUILDING

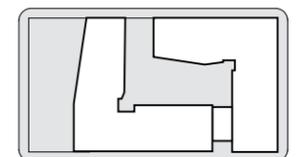
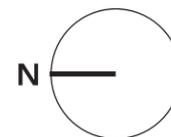
SCALE: 1/16" = 1'-0"



PROPOSED EAST ELEVATION



SOUTH BUILDING
SCALE: 1/16" = 1'-0"



LANDSCAPE DESIGN - PLAN VIEW



Scale: 1" = 30' - 0"

LANDSCAPE DESIGN - VIEW FROM AMENITY COURTYARD



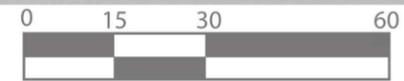
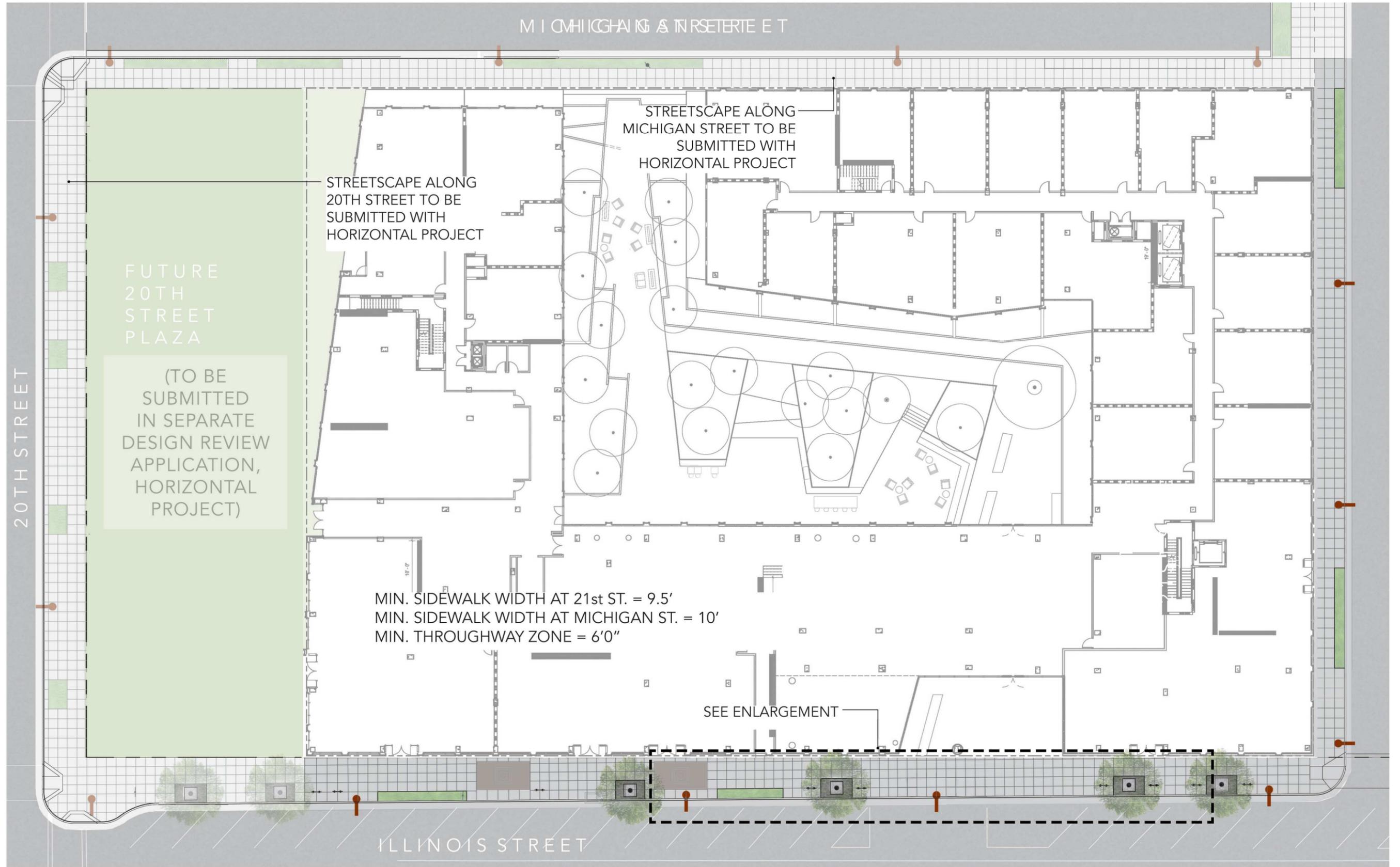
LANDSCAPE DESIGN - BIRD'S EYE VIEW OF MICHIGAN ENTRANCE



LANDSCAPE DESIGN - VIEW FROM MICHIGAN STREET

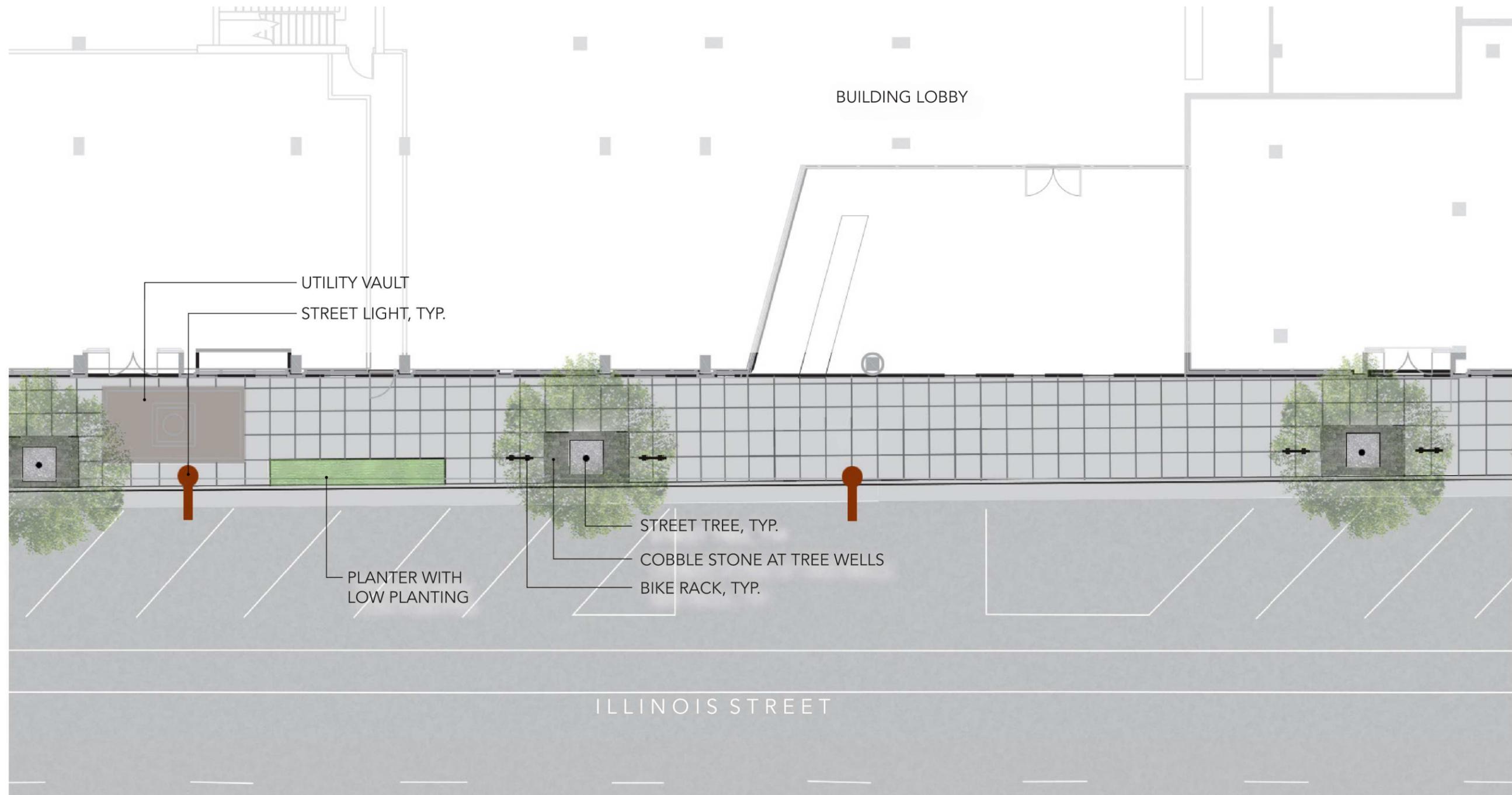


LANDSCAPE DESIGN - STREETSCAPE



Scale: 1" = 30' - 0"

LANDSCAPE DESIGN - STREETScape ENLARGEMENT



Scale: 1" = 10' - 0"

DESIGN FOR DEVELOPMENT (D4D) COMPLIANCE CHECKLIST - PKN

 Standards

 Guidelines

PRESIDIO BAY VENTURES
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PKN
MSLA
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D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
Ch. 1	Project Overview			
1.1-1.6	Project Vision and Goals	Overview of Pier 70 project vision and goals, location, context, time line, process, and framework, to achieve desired character of neighborhood	Y	- Please refer to pages 4-7 for PKN's <i>Design Intent Statement</i> .
Ch. 2	Land Use			
2.1.1	Land Use	Pier 70 Project is zoned Pier 70-MU. Permitted Land uses located on Table 2.1.1	Y	- The proposed use for PKN is Residential with Ground Floor Commercial Office/ Retail/Arts/Light Industrial (Table 2.2.1) - Retail and Service Frontage Zone is designated at Illinois and 20th (Figure 2.2.2). Please refer to page 18 for <i>Plan at Level 1 with Landscape</i> .
2.1.2	Dwelling Unit Density Limit	Dwelling unit density shall not be limited by lot area (S2.1.2) See Section S6.12 for Dwelling unit exposure and residential open space requirements	Y	- Project to comply with Section S6.12 for Dwelling Unit Exposure and Open Space Requirements.
2.1.3	Publicly Oriented Accessory Retail Uses in Parks and Open Spaces	Accessory uses are allowed in parks and open spaces, subject to approval process outlined in Pier 70 D4D.	NA	- Public open space (20th Street Plaza) will be addressed in the Horizontal Projection Application
2.1.4	Off-Street Parking	Parking on PKN is permitted as an accessory use. Refer to Section 5.4 Off-Street Parking and Section 6.13 Garage and Service Entry Design for more information on parking maximums, locations, dimensions, and design of parking facilities and entries.	Y	- Off-street accessory parking will be located below grade. Please refer to pages 19 and 20 for <i>Plan at Basement - Entry at Lower Level</i> and <i>Plan at Basement - Upper Level</i> .
2.1.5	Interim Uses	Interim uses, including surface parking and arts, retail, and entertainment uses are permitted in accordance with the Pier 70 D4D	NA	- Not-Applicable
2.2.1	Measuring Frontages	A frontage shall be defined as the vertical exterior face or wall of a building and its linear extent that is adjacent to or fronts on a right-of-way or open space. Percentages of Priority Retail & Retail and Service Frontages shall be measured by linear feet for each zone indicated. Building frontage excludes space allowed for parking and loading access, building egress, and access to mechanical systems.	Y	- Definition Noted
2.2.2	Measuring Corners	For buildings along 20th Street, 22nd Street, and Maryland Streets, corners shall be defined as the first 75 feet from the intersection along the frontage of a building. For all other locations, corners shall be defined as the first 50 feet from the intersection along the frontage of a building.	Y	- Definition Noted
2.2.3	Priority Retail Frontages	A minimum of 50% of shaded Priority Retail Frontage Zone shall be occupied by retail, bar and restaurant, arts and culture, PDR, and entertainment (Figure 2.2.1)	NA	- Not-Applicable
2.2.4	Retail and Service Frontages	Specified frontage zones shall be limited to the uses listed in S2.2.3 Priority Retail Frontages plus the following additional uses for a minimum of 50% of the shaded Retail and Services frontage zone identified in Figure 2.2.2: (Personal services, Medical services, Financial Services and banks, Fitness Centers and Gyms, Institutions, Community Facilities, Events and Activity Space, Minimum depth should be 25')	Y	- Retail and Service Frontages are required along 50% of the northwestern corner of PKN, located on the intersection of 20th St. (75') and Illinois St. (50'). The retail corner exceeds the 50% at 69' x 50'. - Please refer to page 18 for <i>Plan at Level 1 with Landscape</i> for proposed frontage dimensions. (2.2.3 Priority Retail Frontage not applicable to PKN)
2.2.5	Ground Floor Office Frontage	Ground floor commercial-office uses on 20th street, as shown in Figure 2.2.2 shall not exceed 75% of frontages for Parcels A, B, F, G, HDY, H1 and H2.	NA	- Not-Applicable
G2.2.1	Ground Floor Office Frontages	When located on the ground floor, particularly along 20th Street, commercial spaces with frontages longer than 30 feet are encouraged to locate and make visible social or common functions, such as lounges, kitchens, cafeterias, activity spaces, meeting rooms, and conference rooms along the street edge to create visual activity and engagement.	Y	- Noted, will comply

D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
Ch. 4	Streets and Streetscapes			
4.3	Pedestrian Network	Minimum Sidewalk Width per Table 4.3.1: - 21st St. between Illinois St. and Louisiana St. = 9.5' - Michigan St. = 10' Provide a minimum 6' wide throughway zone to allow for unobstructed pedestrian pathways (S4.3.2 & Figure 4.3.2)c	Y	-For 21st Street between Illinois St. and Louisiana St., refer to page 48 on <i>Landscape Design - Streetscape</i> for min. sidewalk widths. -Michigan St. will be addressed in the Horizontal Projection Application. - Please refer to page 48 on <i>Landscape Design - Streetscape</i> for throughway zone widths.
4.4	Mid-Block Passages	Mid-Block Passages are not required at PKN (S4.4.1 and Figure 4.4.1)	NA	-Not-Applicable
4.8.1	Street Trees	Street trees within the site shall be selected for their quality of form and foliage to be in keeping with the Project's vision of a place that simultaneously relates to the neighborhood and the site's industrial heritage.	Y	-Noted, Tree selection shall comply
4.8.2	Street Tree and Planting Locations	Trees are only permitted on Illinois St. No trees are permitted on Michigan and 21st Street (Figure 4.8.1). Plantings permitted (No trees) on Michigan Street and 21st Street. Trees, and plantings are permitted on Illinois St.	Y	-Street trees are located on Illinois St. Please refer to page 48 on <i>Landscape Design - Streetscape</i> for tree locations. - For 21st St. and Illinois St. , refer to page 48 on <i>Landscape Design - Streetscape</i> for street tree and planting locations. - Plantings on Michigan St. will be addressed in the Horizontal Project Application.
4.8.3	Planting Strip with Low Plantings	Low plantings minimum of 4' in width ; however where sidewalk is less than 10', 3' widths are permitted. Where courtesy strip is provided in a sidewalk less than 10' in width, 2' wide planting strips shall be permitted	Y	- For 21st St. and Illinois St. , refer to page 48 on <i>Landscape Design - Streetscape</i> for plantings.
4.8.4	Planting Strip with Street Trees	Street trees in plantings shall be a minimum of 4' in width and centered a minimum 18" from edge of curb. (S4.8.3 / S4.8.4)	Y	- For Illinois St. , refer to page 48 on <i>Landscape Design - Streetscape</i> for proposed plantings.
4.8.5	Street Tree Spacing	Where street trees are required, they shall be permitted to have variable spacing, in contrast with Standard Better Streets Plan requirements.	Y	- Noted, please refer to page 48 on <i>Landscape Design - Streetscape</i> for tree spacing on Illinois Street.
4.8.6	Street Tree Species	All Trees shall meet the approved species defined by SF Department of Public Works and Friends of Urban Forest (S4.8.6)a minimum of 4' in width and centered a minimum 18" from edge of curb. (S4.8.3 / S4.8.4)	Y	- Street trees to comply. For 21st St. and Illinois St. trees, refer to page 48 on <i>Landscape Design - Streetscape</i> .
G4.8.1	Street Tree Species	Preferred tree species (Figure 4.8.2)	Y	- Noted, tree species to be considered in Schematic Design.
G4.8.2	Planting Type	Refer to Section 3.13 Vegetation. Extra consideration to durability and maintenance to Public ROW	Y	- Noted, planting species to be considered in Schematic Design.
4.9	Utilities	All above-grade utilities within ROW shall be located within furnishing zone (S4.91)	NA	-Not-Applicable
4.10.3	Sidewalks	Materials must withstand extensive use, wear-and-tear, and load bearing requirements	Y	- Noted, sidewalks to comply
Ch. 5	Bicycle Parking			
5.1.1	Bicycle Parking Capacity	Class 1 and Class 2 bicycle parking amounts shall be provided per building in accordance with the parking minimums per use as indicated in the Planning Code at the time of building permit submittal.	Y	- Please refer to page 16 for <i>Data Summary - Proposed Vertical Project</i> for required bike parking calculation. - Please refer to page 20 for <i>Plan at Basement - Upper Level Plan</i> at for Class 1 Bike Parking. Refer to page 18 for <i>Level 1 with Landscape</i> for Class 2 Bike Parking.
5.1.2	Class 1 Bicycle Parking Location	Class 1 bicycle parking shall be located on ground level, basement level, or above ground level of subject building required. Class 1 bicycle parking for residential shall dedicate a minimum of 5% of bicycle parking spaces for Cargo and Trailer Bikes	Y	- Please refer to page 16 for <i>Data Summary - Proposed Vertical Project</i> for required bike parking calculation. - Please refer to page 20 for <i>Plan at Basement - Upper Level Plan</i> at for Class 1 Bike Parking.

DESIGN FOR DEVELOPMENT (D4D) COMPLIANCE CHECKLIST - PKN

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PKN

MSLA

HANDEL ARCHITECTS

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D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
5.1.3	Class 1 Bicycle Parking Signage	Each non-residential building with Class 1 bicycle parking shall provide clear signage visible within the building lobby and at any basement access points, if applicable.	N/A	- Not applicable
5.1.4	Class 2 Bicycle Parking	Class 2 bicycle parking (located along Illinois Street, within 100' from primary entrance of building, and high visibility) required. SF Planning Code Section 155.2 : "One per 20 units"	Y	- Please refer to page 16 for <i>Data Summary - Proposed Vertical Project</i> for required bike parking calculation. - Please refer to page 20 for <i>Level 1 with Landscape</i> for Class 2 Bike Parking.
5.1.5	Bicycle Parking Design	Design shall be consistent with design and layout standards set forth by Planning Code with exception of space efficient lift-assist double decker racks being permitted to fulfill 100% of Class 1 requirements.	Y	- 100% of the required Class 1 bicycle parking to be provided with lift-assist double decker racks. Please refer to page 20 for <i>Plan at Basement - Upper Level Plan</i> at for Bike Room.
5.1.6	Bicycle Support	Support facilities, such as showers and lockers, shall be provided in accordance with Planning Code Section 155.4 at time of site permit submittal.	N/A	- Per Planning 155.4, no Retail Sales and Services Uses within project meet the minimum requirements for shower facility and lockers.
G5.1.1	Bicycle Parking Access	Access to bicycle parking areas should be direct and clearly indicated with signage. Access ramps to bicycle parking areas are encouraged where the primary entrance of the building is below or above adjacent sidewalk grade.	Y	- Noted, bicycle parking signage to comply and provide clear indication of location. There are two points of access from both Michigan Street and from basement parking. Please refer to page 20 for <i>Plan at Basement - Upper Level Plan</i> at for access to Bike Room.
G5.1.2	Bike-Share Location	Bicycle sharing is encouraged and bike-share stations are recommended at Maryland Street between 21st and 22nd Street, adjacent to Parcels E1 and E2 to avoid obstructions to the open space as shown in Figure 5.5.1.	N/A	- Not-Applicable
G5.1.3	Bicycle Parking Lighting	Bicycle parking spaces should be sufficiently lit for safety and functionality.	Y	- Noted, bicycle parking lighting to comply and be sufficiently lit for safety and functionality.
5.2.1	Car-Share	Car-Share parking that complies with Planning Code Section 166 required (Figure 5.2.1) - SF Planning Code: "201 or more residential units = 2, plus 1 for every 200 dwelling units over 200".	Y	- 2 spaces will be provided on Michigan Street. Please refer to page 16 for <i>Data Summary - Proposed Vertical Project</i> for car share calculation. - Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level Plan</i> at for car share location on Michigan Street.
G5.2.1	Access	Car share parking is encouraged to be located in buildings in the same areas as private car parking, with shared access in order to minimize curb cuts and points of vehicular access into buildings. Consideration: On-Street car-share locations may be incorporated in certain locations to facilitate convenient access	Y	-To facilitate convenient access 2 car-share spaces are provided on-street on Michigan Street, as it is less busy and not a through way street. - Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level Plan</i> for car share location on Michigan Street.
G5.2.2	Storage Facilities	Residential buildings should include storage facilities in convenient common areas for car seats, strollers, shopping trollies, and other items that encourage residents to walk and use car-share. Amounts and locations should follow San Francisco's Transportation Demand Management Measures.	Y	- Residential storage facilities have been provided with access to Michigan Street. Refer to Basement Plans on Page 20
5.4.1	Parking Maximums	Off-street parking shall not be required for any use or building. Total parking shall not exceed maximum number of spaces Residential: 0.6 Office: 1 space per 1,500 square feet of GFA	Y	- 147 parking spaces (not to exceed 0.6 per unit) are provided below grade in basement. Please refer to page 16 for <i>Data Summary - Proposed Vertical Project</i> for parking maximums calculation.
5.4.2	Parking Location	Parking within residential buildings may be located either above or below-grade in accordance with Section 6.14 Garage and Service Entry Design. Permits below grade and podium parking (Figure 5.4.1)	Y	- Parking is located below the project grade level at Illinois Street. Please refer to pages 19 and 20 for <i>Plan at Basement - Entry to Lower Level</i> and <i>Plan at Basement - Upper Level</i> for parking locations.
5.4.3	Residential Parking	Parking within residential buildings shall primarily serve residential tenants, and may be shared among multiple residential buildings	Y	- Accessory parking to serve residential tenants

D4D Section	Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
5.4.4	District Parking Garage Shared district parking garages shall be allowed for use of residents, visitors, and workers, and located at Parcels C1 and C2 (Figure 5.4.1)	NA	- Not-Applicable
5.4.5	Parking Layout Internal parking layout to comply to Planning Code 154, with all spaces clearly marked.	Y	- Noted, parking layout to comply to Planning Code standards
5.4.6	Accessible Off-Street Parking For each 25 off-street parking spaces provided, one such space shall be designed and designated for persons with disabilities.	Y	- 6 parking spaces are provided below grade in basement. Please refer to page 16 for <i>Data Summary - Proposed Vertical Project</i> for accessible parking calculations. - Please refer to pages 19 and 20 for <i>Plan at Basement - Entry to Lower Level</i> and <i>Plan at Basement - Upper Level</i> for accessible parking locations.
5.5.1	Loading Spaces Loading spaces shall be provided per square foot of Gross Floor Area and residential units as indicated in Table 5.5.1. - Retail, Arts, and Light Industrial: 0-50,000 GFA = not required - Residential: 0-275 units = 1 On-street/Off-street	Y	- 1 On-Street Loading space provided on Michigan Street. - Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level</i> for location of on-street loading space, as well as size.
5.5.2	Loading Space Location in Mid-Block Passages Loading spaces shall be permitted in mid-block passages (Figure 5.5.1)	NA	- Not-Applicable
5.5.3	Street Parking To accommodate truck turning movements, removal of street parking shall be considered before widening the street or changing the intersection	NA	- Not-Applicable
5.5.4	Loading Space Dimension Loading spaces shall be provided to meet the minimum dimensional requirement indicated in Table 5.5.2 (Table 5.5.2) - On street: Required on-street loading must be sized to accommodate vehicles up to WB-40. Minimum 40' long (equivalent to length of 2 parking stalls.	Y	- Loading space is a minimum 40' long. Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level</i> for dimension of on-street loading space.
5.5.5	Historic Buildings All loading spaces for Buildings 2, 12, and 21 may be provided on-street.	NA	- Not-Applicable
5.5.6	Refuse and Recycling Provide collection and loading areas for three separate streams of recycling, composting, and landfill waste	Y	- Please refer to page 19 for <i>Plan at Basement - Entry at Lower Level</i> for trash room location.
5.6.1	Prohibited Curb Cut Locations Curb Cuts for vehicular access shall be prohibited on Maryland Street, between 21st Street and 22nd Street, and on 20th Street along the waterfront as indicated by Protected Edge in Figure 5.6.3	NA	- Not-Applicable
5.6.2	Building Loading Access Maximum of one location of loading access per building; Loading access shall be provided on 21st St. or Michigan St.	Y	- There is one On-street loading location on Michigan Street. Please refer to page 19 for <i>Plan at Basement - Entry at Lower Level</i> .
5.6.3	Vehicular Entrance All vehicles shall enter and exit in a forward direction	Y	- Please refer to pages 19 and 20 for <i>Plan at Basement - Entry to Lower Level</i> and <i>Plan at Basement - Upper Level</i> for vehicle directions.
5.6.4	District Parking Garage Entrance Two garage entrances shall be allowed per district parking garage, with maximum permitted curb cut dimensions noted in Table 5.6.1. The driveway ramp shall not exceed a 20% slope with 15% or less.	NA	- Not-Applicable
5.6.5	Accessory Parking Access One parking entrance/exit shall be allowed on each parcel frontage subject to permitted vehicular access Distance between parking entry and exit from corner intersections shall be a minimum of 60'	Y	- There is a total of one parking entrance/exit. Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level</i> for location of entrance/exit on Michigan St. - Distance between parking entry/exit from intersection over 60'. Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level</i> for dimensioned distance from intersection.
5.6.6	Accessory Parking Door Parking access door shall be secure, motorized door located at the property line Shall comply to Section 6.13 Garage and Service Entry Design	Y	- Noted, parking access door to comply to standards

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5.6.7	Access Locations	Off-street Parking and Exterior Loading Docks shall be at least 60' from corner of an intersection.	Y	- One on-street loading space on Michigan Street, over 60' from corner. Please refer to page 19 for <i>Plan at Basement - Entry at Lower Level</i> .
5.6.8	Frequency of Curb Cuts	Maximum of one curb cut per parcel is permitted every 200 linear feet of street frontage	Y	- Curb cuts are separated by at least 200' on Michigan St. Please refer to page 19 for <i>Plan at Basement - Entry at Lower Level</i> for curb cut separation distance.
5.6.9	Dimension of Curb Cuts	Parking Garage 2-Way: 22' width or 25' width including both flared edges (Table 5.6.1)	Y	- Curb cut will be 22' maximum. Please refer to page 19 for <i>Plan at Basement - Entry at Lower Level</i> for width of curb cut for parking access.
5.6.10	Curb Cut Treatment	Continuous material treatment extending from sidewalk or pedestrian path over vehicular path ; perpendicular curb ramps shall have flared sides with slope of no more than 10%.	Y	- Noted, curb cuts will comply.
5.6.11	Driveway Slope	Flat area of driveway between driveway ramp and property line at least 8' with 3% maximum slope (Figure 5.6.1)	Y	- Driveway for parking access to comply. Please refer to page 19 for <i>Plan at Basement - Entry to Lower Level</i> for driveway slopes.
5.6.12	Transition Strips	Shall be located before and after driveway ramp; at base: minimum of 10' in length with slope equal to half of difference between two slopes; at top: minimum of 8' in length with slope equal to half of difference between two slopes it transitions	Y	- Driveway ramps to comply. Please refer to pages 19 and 20 for <i>Plan at Basement - Entry to Lower Level</i> and <i>Plan at Basement - Upper Level</i> for transition strips.
5.6.13	Driveway Sightlines	Sight triangles provided at all egress points ; 10' wide, parallel to street, 10' wide perpendicular to street, minimum vertical clearance of 14' ; no street trees in driveway sight lines (Figure 5.6.6)	Y	- Noted, driveway sight lines to comply.
5.6.14	Driveway Access	Driveways crossing sidewalks shall be no wider than necessary for ingress and egress, and shall be arranged, to the extent practical.	Y	- Noted, please refer to 19 for <i>Plan at Basement - Entry to Lower Level</i> for driveway design.
5.6.15	Porte Cocheres	Porte Cocheres to accommodate passenger loading and unloading are not permitted except as part of a hotel, inn, or hostel use.	NA	- Not-Applicable
G5.6.1	Accessory Parking Entrance	Where possible, parking entrances are encouraged to be located separate from the primary facade of the building or to be integrated into the architectural design to avoid negatively impacting the overall aesthetic quality of the building.	Y	- Parking entrances are integrated into the facade facing Michigan Street, separated from the primary facade. Please refer to pages 42 and 43 for the <i>Proposed East Elevation</i> .
G5.6.2	Shared Egress	Off-street loading entrances and exits should be combined with the garage parking entries wherever reasonable and feasible along the same block frontage	NA	- Loading is located on-street. Not-Applicable
Ch. 6	Buildings			
6.2	Overview of Massing and Architecture	Location specific requirements Table 6.2.1	Y	- Please refer to page 62 for the <i>D4D Compliance Diagrams</i>
6.3.1	New Construction Zones	Buildable zone for PKN : 215' x 320' new construction (Figure 6.3.1)	Y	- Please refer to the <i>Proposed Site Plan</i> on page 15 for conforming build-out area at 212' x 320' -8".
6.3.2	Buffer Zones and Easements	Buffer zone of 55' from Building 113-116	Y	- Please refer to the <i>Proposed Site Plan</i> on page 15 for minimum 55' separation distance from Building 113-116. (Figure 6.3.2)
6.4.1	Building Height Maximum	PKN's maximum height at 65' (Figure 6.4.2)	Y	- Please refer to page 15 for <i>Proposed Site Plan</i> for height of building.
6.4.2	Maximum Stories	Maximum 6 stories above grade for PKN	Y	- Please refer to page 28 and 29 for <i>Site Sections</i> for height and stories.
6.4.3	Method of Height Measurement	See Pier 70 SUD Figure 6.4.1 for diagrams describing height measurement method.	Y	- Please refer to page 14 for the <i>Point of Measurement Diagram</i> for method of measurement.
6.4.4	Exemptions from Height Measurement	10' above for elevator/stair/penthouse permitted	Y	- Please refer to page 28 and 29 for <i>Site Sections</i> for height and stories.
6.5	Historic District Overview	Addresses focus for rehabilitation of key cultural resources and identifies key features of Historic District.	NA	- Not-Applicable
6.6.1	Historic Buildings	Rehabilitation of following buildings: Building 2, Building 12, and Building 21	NA	- Not-Applicable

D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
6.7.1	Streetwall	All new construction buildings shall hold a consistent streetwall for a minimum of one story in height, and a minimum of 80% of façade length, with minor variations permitted for the remaining 20% length of façade (Figure 6.72 & Figure 6.7.3)	Y	- Streetwalls on Illinois St., 21st St., 22nd St. and Michigan St. meet required Streetwall requirements. - Please refer to pages 38 - 43 for <i>Proposed Elevations</i> .
6.7.2	Streetwall Exceptions : Minor Variations	Exceptions shall not exceed 20% of block frontage. Exceptions include recessed entries, pedestrian connections, and usable open spaces; Must have a minimum width of 5' and 10' in depth.	Y	- Proposed setbacks do not exceed 20% of the streetwalls. - Please refer to pages 38 - 43 for <i>Proposed Elevations</i> or locations of openings. Refer to pages 18 - 27 for <i>Plans</i> for opening widths.
6.7.3	Corners	Ground floor corner setbacks not permitted beyond maximum 3' setback. Corners facing public open spaces shall be except from requirement. Setbacks provided to manage grade changes at site also except.	Y	- Corners comply to standards.
6.7.4	Southern Boundary Conditions	If F/G and H1/H2 are designed with a lot-line condition, the southern facades shall not be required to comply with project-wide massing and architecture controls or long facade controls.	NA	- Not-Applicable
G6.7.1	Setbacks	Where introduced, streetwall setbacks should relate to the pedestrian scale and serve to expand the public realm of the sidewalk. Setback landscape areas should be limited to two feet in width.	Y	- At 20th Street, 21st Street, and Illinois Street, the building holds a consistent streetwall, with exception of a 3' setback for raised planters at the Michigan Street Plaza.
G6.7.2	Corners	Corner controls are additionally encouraged to apply to building corners at the intersection of public streets and vehicular mid-block passages.	NA	- Not-Applicable
6.8.1	Defined Base	Defined Base Zone with minimum 1 story to maximum 3 stories (Figure 6.8.1).	Y	- Project has a clearly defined base. Please refer to page 38 - 43 for <i>Proposed Elevations</i> for defined base zone.
6.8.2	Ground Floor Transparency	Minimum 60% transparency to all non-residential, excluding parking and loading, egress, and mechanical ; maximum sill height of 3' from sidewalk grade	Y	- Ground floor facade to comply with minimum 60% transparency for all non-residential. Please refer to page 38 - 43 for <i>Proposed Elevations</i> for ground floor glazing locations.
6.8.3	Ground Floor Height	PKN permitted to have reduced ground floor height of 14'	Y	- Ground floor height is at a minimum of 14', with the south building having a 14' - 6" height. Please refer to <i>Site Sections</i> on pages 28 - 29 for ground floor heights.
6.8.4	Ground Floor Modulation	Modulate ground floor facades with vertical facade articulation at maximum 30' intervals on center (20th St. adjacency) (S6.8.4)	Y	- Ground floor facade modulates at 12' intervals on center (less than 30' maximum). Please refer to pages 38 - 43 for <i>Proposed Elevations</i> for ground floor elevations.
6.8.5	Ground Floor Horizontal Element	20th St shall have horizontal element that articulates the pedestrian scale for frontages along ROWs and open spaces; minimum 20% linear frontage along building (20th St. adjacency) (S6.8.5)	Y	- Please refer to page 18 for the <i>Plan at Level 1 with Landscape</i> for the location of the horizontal canopies along the 20th St. facade and Illinois Street. Image of canopies shown on pages 33 and 35 in rendered view.
6.8.6	Ground Floor Commercial-Office Frontage	Interior area within 4' from surface of window glass between 4'-8' above sidewalk shall be 75% open to perpendicular view (Figure 6.8.4)	Y	- Interior area of commercial spaces to comply.
6.8.7	Ground Floor Entries	Provide at least 1 entry for each façade less than 250' in length and at least 2 entries for each façade 250'-450' in length; 21st St. and Michigan St. excluded. Each retail space has a minimum of one entry along street or open space Primary entry for each building shall be from a public street.	Y	- The primary residential entry is located on Illinois Street, with an additional residential entry at the 20th Street Plaza. Retail / Commercial entries are located on 21st Street, Illinois Street, and the 20th Street Plaza. Please refer to page 18 for the <i>Plan at Level 1 with Landscape</i> for entry locations, including retail and commercial entry locations.
6.8.8	Ground Floor Storefronts	Temporary frontages in the form of murals or other artwork, are allowed as placeholder during construction to allow for tenants to customize the design of the ground floor facades and entries.	NA	- Not-Applicable
G6.8.1	Ground Floor Storefronts	Storefront facades are encouraged to open up to the pedestrian public realm through the use of large movable openings such as pivot, sliding, or roll-up windows and doors.	Y	- On the required retail corner of Illinois Street and 20th Street Plaza, various operable will be explored in Schematic Design.

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D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
G6.8.2	Entry Design	Entry design should incorporate two or more of the following methods: - Change in wall/window in relation to the primary building facade - Use of accentuating light and color - A projecting element above - A change in material and detailing - Recessed doors or cased openings	Y	- All residential entres are recessed from the streetwall, incorporate projecting overhangs above, and will also be accentuated by lighting. Please refer to page 35 for rendered view of entry and overhang.
G6.8.3	Commercial Lobbies and Entry ways	Primary commercial entry ways and lobbies should be visually active through both programming and materials.	NA	- Not-Applicable
G6.8.4	Ground Floor Setbacks Along Irish Hill Passage	Residential stoops for PKS and HDY3 facing midblock passage are encouraged to accommodate ground floor setbacks, in order to avoid encroachment.	NA	- Not-Applicable
6.9.1	No Replication of Historic Buildings	No replication of historic buildings. False historicism not permitted.	Y	- Building does not replicate historic buildings. - Please refer also to the Cultural Adjacency Strategy on pages 72-74.
6.9.2	Building Variety	Must vary from adjacent building in at least two different ways	Y	- The building roof line modulation differs from adjacent buildings via roof line modulation of the gallery top, via subtractions for private terraces. It also varies in its use of material and overall massing. - Please refer also to the Cultural Adjacency Strategy on pages 72-74.
6.9.3	Facade Articulation	Material selection shall reflect but not replicate the scale, pattern, and rhythm of adjacent contributing resources' exterior materials.	Y	- Building uses masonry, but in a contemporary format and module size which varies from the traditional brick facade of Building 113-116. - Please refer also to the Cultural Adjacency Strategy on pages 72-74.
6.9.4	Facade Rhythm	Facades greater than 200' along side shall use vertical facade articulation at maximum 30' intervals	Y	- Building facades modulate at 12' intervals. Please refer to pages 38 - 43 for <i>Proposed Elevations</i> for facade rhythm along all facades.
6.9.5	Facade Depth	Shadows and texture with minimum depth of 6"	Y	- Please refer to pages 28 - 29 for <i>Site Sections</i> addressing change in depth of facade. For texture, refer to pages 38 - 43 for <i>Proposed Elevations</i> .
6.9.6	Blank Walls	Blank walls greater than 50' along 20th St. prohibited	Y	- There will be no blank walls grater than 50'. Please refer to page 38 for <i>Proposed North Elevation</i> for facade articulation.
G6.9.1	Historic Rhythms and Patterns	New construction buildings should incorporate through contemporary interpretation, one or more of the following features drawn from Pier 70's historic character. - Horizontal banding - Shifted Patterns/Glazing - Articulated Rooflines - Repetitive Patterns - Gridded Windows - Weathered Materials	Y	- Building incorporates horizontal banding, repetitive patterns, articulated rooflines, and gridded windows. Please refer to pages 72-74 for <i>Cultural Adjacency Strategy</i> addressing building relationship to adjacent cultural resources, Building 113-116 and Building 101.
G6.9.2	Material and Color Palette	Material and color palette are encouraged to draw from the sites' historic texture and utilize the recommended material palette (Figure 6.9.5).	Y	- Materials draw from historic texture and coloring. Refer to pages 36 and 37 for <i>Proposed Building Materials</i> .
6.10.1	Ground Floor Non-Occupiable Projections	Ground floor non-occupiable building elements may extend up to 1' into ROW w/ minimum clearance of 7.5' from sidewalk grade Horizontal elements may extend up to 2' from curb edge w/ a minimum clearance of 10' from sidewalk grade No horizontal projection continues for more than 33% of frontage length	Y	- Canopies are included at all entries. All ground floor non-occupiable projections will comply to dimensions and sizing. Please refer to page 18 for <i>Plan at Level 1 with Landscape</i> for locations and sizes of projections.

D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
6.10.2	Upper Level Non-Occupiable Projections	Maximum projection of 3' and maximum height of 2.5'. Vertical elements may extend up to 2' from property line	Y	- The horizontal elements do not project past 3', nor a height of 2.5'. The vertical elements do not extend beyond the 2' from property line. All upper level non-occupiable projections will comply to this standard. Please refer to pages 38 - 43 for <i>Proposed Elevations</i> for location and sizing of projections.
6.10.3	Occupiable Projections	Compliance with bay window and occupiable projection standard in Planning Code (Figure 6.10.2) Aggregated occupiable projections limited to maximum 60% if length of building facade and beyond 4' of property line (Figure 6.10.3)	NA	- Not Applicable
6.11.1	Mechanical Screening	Rooftop equipment shall step-back at a minimum ratio of 1.2' in a horizontal dimension from exterior wall facing public ROW, for every foot above maximum height limit of building ; must include screen that is at least height of equipment	Y	- Please refer to page 27 for <i>Plan at Roof</i> for location of mechanical screening.
6.11.2	Roof line	Direct replication of particular geometries of historic roof line (Building 113-116) not permitted.	Y	- Please refer to page 6 for <i>Typology and Massing</i> demonstrating no replication in historic roof line of Building 113-116
6.11.3	Better Roof Requirements	Must comply with Better Roof Requirements in San Francisco Environment Code 6.10.3	Y	- Roof will comply to Better Roof Requirements. Please refer to page 27 for <i>Plan at Roof</i> . Proposed project to comply with Better Roof Requirements.
6.11.4	Rooftop Structures	Rooftop amenities shall be oriented toward common use, though non-rooftop open spaces may be dedicated to a single unit. Rooftop structures shall be limited to common access elements or furnishings. Private rooftop structures for use by individual units, are nnot permitted.	Y	- Rooftop serves mechanical and contain common residential open space. Please refer to page 27 for <i>Plan at Roof</i> .
G6.11.1	Rooftop Sustainability Strategies	Roofs are encouraged to provide usable open space and/or sustainable design strategies to reduce carbon emissions and mitigate urban heat island effect. Specific rooftop strategies include living roofs, rainwater harvesting, or renewable energy capture. Refer to Section 6.14 and the Pier 70 SUD Sustainability Plan.	Y	- Please refer to page 27 for <i>Plan at Roof</i> for size and location of solar ready areas.
G6.11.2	Railings	Subject to compliance with OSHA standards, railings should be set back from the facade plane to minimize visibility of railings from streets and open spaces.	Y	- Railings are setback from the facade plane.
6.12.1	Residential Usable Open Space	Minimum quantity of usable open space equivalent to 40 square feet per dwelling unit (common courtyards, terraces, rooftop spaces, winter gardens, private balconies, stoops, other facilities) - Common Terraces and Courtyard = minimum of 20' - Private balconies and stoops = minimum width of 5' or 36 square feet in area	Y	- Please refer to page 16 for the <i>Data Summary - Proposed Vertical Project</i> for open space calculations. - Please refer to page 15 for the <i>Proposed Site Plan</i> showing usable open space.
6.12.2	Rear Yard Requirements	Not required to comply with rear yard requirements set in Planning Code Section 134	Y	- Noted.
6.12.3	Dwelling Unit Exposure	Units shall face onto a public or private ROW or open area (street/passage at least 20' in width ; open area (no less than 25' in any horizontal direction)	Y	- Please refer to pages 18 - 27 for <i>Plans</i> for location of dwelling units.
6.12.4	Residential Ground Floor Transparency	Ground floor lobbies and amenities shall have a minimum of 50% transparency ; Ground floor units shall have a minimum of 25% transparency	Y	- Please refer to page 18 for <i>Plan at Level 1 with Landscape</i> for location of ground level units. - Please also refer to pages 38 - 43 for <i>Proposed Elevations</i> showing the percentage transparency at the Ground Floor.
G6.12.1	Residential Entry Design	Changes in material, awnings, and stoops are encouraged to create residential ground floor rhythm. Lobby entrance areas should maximize transparency to interior common spaces or interior open spaces.	Y	- The residential entry is located on Illinois Street, recessed with an canopy above. The entry maximizes transparency to the inner courtyard and common amenity spaces. - Please refer to page 18 for <i>Plan at Level 1 with Landscape</i> for location of entry and lobby. Refer to page 35 for a Rendered view of entry from exterior.
G6.12.2	Courtyard Bridges	Bridges connecting building circulation across internal or external courtyards are encouraged to be open air or at least 80% transparent.	NA	-Not-Applicable

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6.13.1	Parking Garage Treatment	Parking garages shall comply with the applicable standards and guidelines in Sections 6.7 - 6.11. Frontages over 200' long and located in key facade locations shall meet the minimum requirements in S6.18.4.	NA	-Not-Applicable
6.13.2	Accessory Parking Treatment	Above ground accessory parking shall be wrapped by non-parking uses (minimum depth of 25') Parking basements that are exposed due to grading conditions are exempt for the first four feet of height above adjacent sidewalk grade. Basement parking may be exposed due to grading conditions. Such exposed frontages shall be architecturally consistent with, or complementary to, the overall facade design or adjacent public realm design.	Y	- Project accessory parking proposed to be located below grade. Some parking is exposed due to grading conditions. - Parking is wrapped by Residential services for at least 25', until actual parking garage begins. - Please refer to pages 42 and 43 for <i>Proposed Elevations</i> showing exposed parking. Frontage shall be architecturally consistent with overall facade design.
G6.13.1	Garage Screens and Facades	Garage entries shall be screened and designed in a manner harmonious with the building's overall composition and materiality.	Y	- Garage entry will be screened and designed to be integrated into facade via color and materiality.
6.15.1	Locations and Views	Key locations shall respond to related resource(s) and key views shall preserve sight lines and visual corridors to cultural resources, as shown in Figure 6.15.1. - PKN: East and North : Buildings 113-116, Building 101	Y	- Noted, PKN is adjacent to historic Building 113-116. The North and East facade shall respond to cultural adjacency standards. Please refer to pages 72-74 for <i>Cultural Adjacency Strategy</i> addressing building relationship to adjacent cultural resource, Building 113-116 and Building 101.
6.15.2	Setback and Massing Standards for Building A	Massing shall setback at the north-west corner of Building A	NA	-Not-Applicable
6.15.3	Height References of Historic Buildings	In locations, Parcel A, B, C1, and C2, facades of new construction buildings across the street from or adjacent to specified contributing resources shall distinctly reference the height of the adjacent historic building.	NA	-Not-Applicable
6.15.4	Dimensional Quality	Height reference shall have a dimensional quality	NA	-Not-Applicable
6.15.5	Related Treatment to Adjacent Resources	Must relate to adjacent resource (height, rhythm, glazing proportions, pattern, horizontal banding, material grain, alignments) PKN must comply on East and North side to adjacent Buildings 113-116 (Figure 6.15.6)	Y	- Please refer to pages 72-74 for <i>Cultural Adjacency Strategy</i> addressing building relationship to adjacent cultural resource, Building 113-116.
6.15.6	Limited Facade Materials	Materials listed shall be limited (not a primary facade material) on facades adjacent to cultural resources (S6.15.3)	Y	- Please refer to page 38 for the <i>Proposed North Elevation</i> , and pages 42 and 43 for the <i>Proposed East Elevation</i> for material use location. - Please refer to pages 36 and 37 for <i>Proposed Building Materials</i> for facade material choices.
6.15.7	Prohibited Facade Materials Transparency	Vinyl planks and siding and noncommercial and nonindustrial facade materials are prohibited.	Y	- Facade materials will comply. Please refer to pages 42 and 43 for <i>Proposed Building Materials</i> for facade material choices.
G6.15.1	Public Garages at Irish Hill	If C1 and/or C2 are built as public parking garages, the facades facing Irish Hill playground should be designed to frame facades of Irish Hill Playground.	NA	-Not-Applicable
G6.15.2	Corner Treatment at Irish Hill Passage	Building designs HDY3 and HDY1/2 should mark the entry to Irish Hill are through architectural strategies that emphasize corners of the plaza.	NA	-Not-Applicable
G6.15.3	Materiality	Due to their location adjacent to cultural resources, buildings on Parcels D and E1 should incorporate at least one materiality strategy for a minimum of 20% of the overall facades.	NA	-Not-Applicable
6.16.1	Location-Related Standards	For specified locations, location-related standards shall apply to first 60' measured from grade (Figure 6.16.1)	NA	-Not-Applicable

D4D Section		Summary of Standard or Guideline	Compliant (Y/N/NA)	Summary of Project Compliance
6.16.2	Feature-Related Standards	Shall apply to any features listed herein that occur within 60' of building, measured from grade (freestanding glass walls, wind barriers, skywalks, balconies, greenhouses w/ unbroken glazed elements 24 square feet and larger) ; 100% of glazing bird-safe glazing treated	Y	- The qualifying Feature-Related elements on the proposed project are glass guardrails which will be divided into glazed segments smaller than 24 sq. ft. Refer to pages 38 - 43 for <i>Proposed Elevations</i> for glazed features divided into less than 24 square feet.
6.16.3	Bird-Safe Glazing Treatment	Bird-safe glazing treatment shall include fritting, netting, permanent stencils, frosted glass, exterior screens, physical grids placed on the exterior of glazing or UV patterns visible to birds. To qualify for bird-safe glazing treatment vertical elements of window patterns shall be at least 1/4" wide at a maximum spacing of 4" or horizontal elements at least 1/8" wide at maximum spacing of 2".	Y	-Bird Safe glazing treatment shall comply to these standards if it is determined that the project contains Feature or Location related bird hazards.
6.16.4	Exception for Historic Buildings	Existing features of historic buildings shall not be subject to Bird-Safe Controls specified herein.	NA	-Not-Applicable
6.17	Mid-Block Passage Connectors		NA	-Not-Applicable
6.18	Long Facades in Key Locations	PKN long facades on Michigan and Illinois considered Secondary facades (200'-350') (Figure 6.18.1 & Figure 6.18.3)	Y	Please refer to pages 63-71 for long façade diagrams and qualifying credits (Table 6.18.1).
Ch. 7 Lighting, Signage, & Art				
7.4.1	Energy Consumption	Smart lighting technologies shall be incorporated (automated controls that adjust based on occupancy and daylight availability, high efficiency technology)	Y	- Smart lighting to comply to standards shall be used in project.
7.4.2	Prohibited Lighting	Building lighting that blinks or flashes not permitted	Y	- Building lighting will not blink or flash.
7.4.3	Building Entrances and Ground Level	Lighting provided at building entrances and ground level provided for security		- Lighting will be provided at focal points.
G7.4.1	Accent Lighting	Accent lighting at focal points, art installation, building facades and historic assets is encouraged. Accent lighting should incorporate opportunities for art and technology	Y	- Accent lighting will be explored in areas, especially near main entries.
G7.4.2	Energy Efficiency	Energy Efficiency. Accent lighting is encouraged to be energy efficient.	Y	- Lighting to be energy efficient.
G7.4.3	Glare Reduction	Glare reduction. Lighting should not illuminate or produce glare on adjacent properties.	Y	- Lighting will not illuminate or produce glare on adjacent properties.
G7.4.4	Building 15 Structural Frame	Building 15 Lighting should be subtle and used to display key features	NA	-Not-Applicable

D4D CHAPTER 6 COMPLIANCE DIAGRAMS

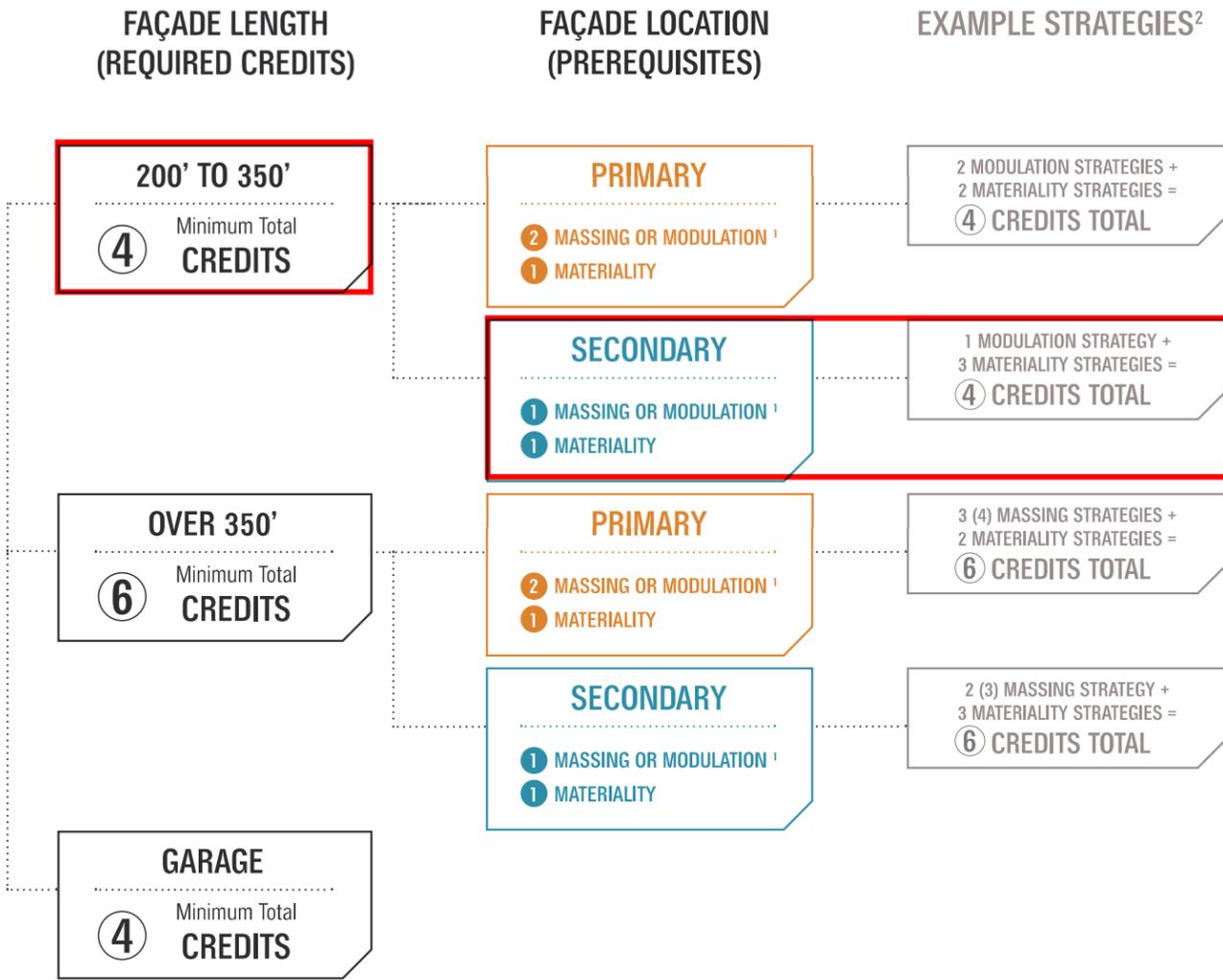
Parcel	6.3-6.4, 6.7-6.14 PROJECT-WIDE STANDARDS	HISTORIC DISTRICT & CULTURAL RESOURCES	6.15-6.19 LOCATION-SPECIFIC STANDARDS							
			6.15 ADJACENT TO CULTURAL RESOURCES			6.16 Bird-Safe Controls ²	6.17 Mid- Block Passage Connectors	6.18 Long Façades in Key Locations- Primary	6.18 Long Façades in Key Locations- Secondary	6.19 Waterfront Façades
		6.6 Rehabilitation of Historic Buildings	New Construction Setback for View	Dimensional Height Reference	Relation to Adjacent Resources					
A	All		W ¹	N, W					E, W	
B	All			N	NE	NE, E			N, W	NE, E
C1	All			N		W, S ¹		S	N	
C2	All			E ¹ , S		W ¹			E	
D	All				S, W					
E1	All				E ¹ , S					
E2	All				W			N, S	W	
E3	All					N, E		N, S		E
E4	All				W ¹	E, S				E
F/G	All				N		N, S	N	S	
H1/H2	All					E	N, S	N	S	E
HDY	All				N ¹	N ¹	N, S	N, S		
PKN	All				N, E				E, W	
PKS	All				E	E			W	
2		All								
12		All								
21		All								

Note: Table indicates building façades subject to various controls noted in separate sections of this chapter.

¹ Partial façade subject to requirements (as shown in Figure 6.2.1)

² Façades subject to location-based controls. Feature-based controls also apply.

6.18 - Long Facades in Key Locations - Secondary // Architectural Requirements

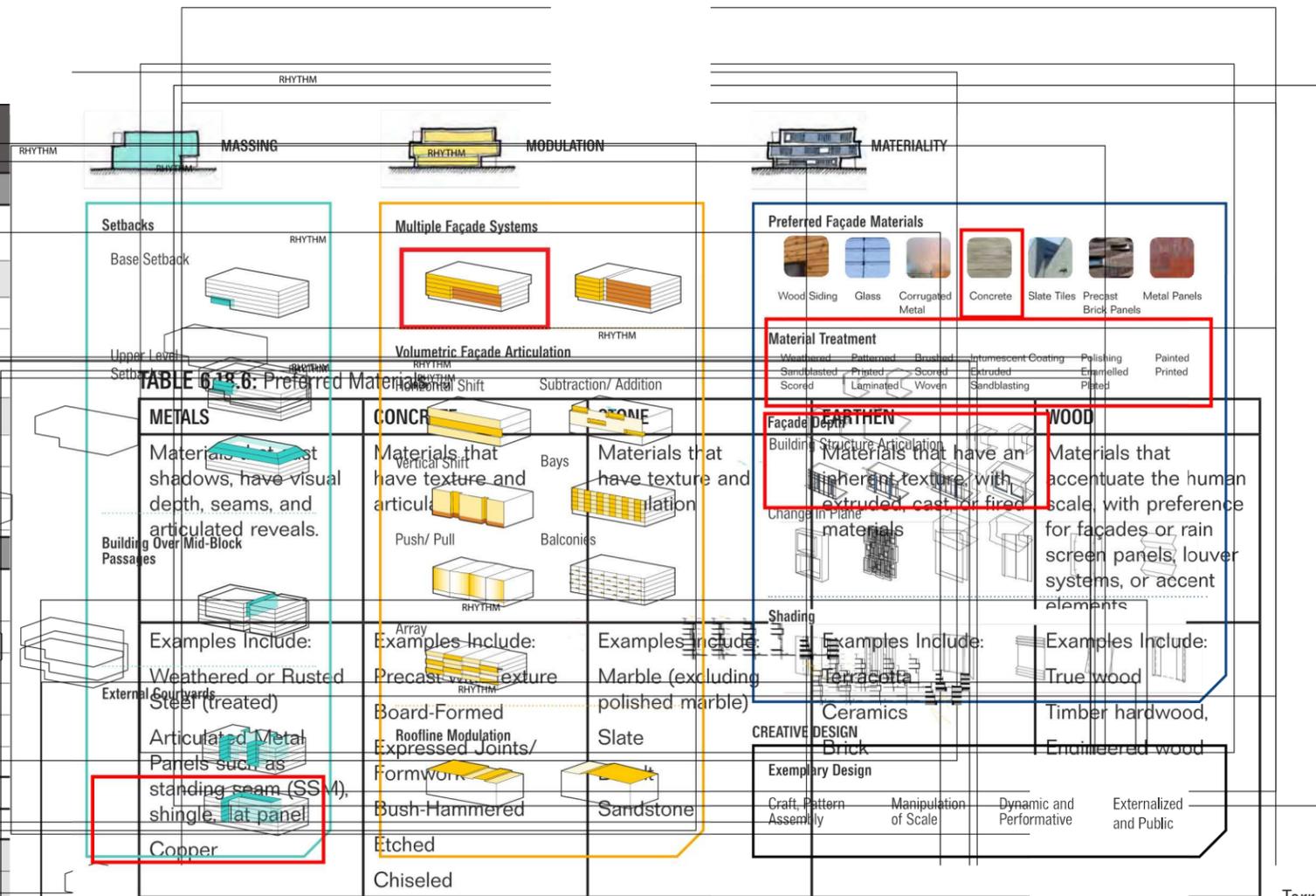


¹ Any qualifying massing or modulation strategy above the prerequisite amount will be counted as two credits.
² Numbers shown in parentheses denote total number of credits after double counting massing and modulation strategies beyond prerequisite amounts.

	MAX. CREDITS	FAÇADE LENGTH AND LOCATION TYPE				
		200 TO 350 FEET		350+ FEET		GARAGE
		PRIMARY	SECONDARY	PRIMARY	SECONDARY	
QUALIFYING CREDITS: MASSING AND MODULATION (1 credit each, worth 2 credits for every additional beyond prerequisite amount)						
Prerequisite minimum combination of massing OR modulation strategies		(2)	(1)	(2)	(1)	(0)
MASSING						
Setbacks	2					
Building Over Mid-Block Passages	Unlimited					
External Courtyards	Unlimited					
MODULATION						
Multiple Façade Systems	2					
Volumetric Façade Articulation	Unlimited					
Roofline Modulation	1					
QUALIFYING CREDITS: MATERIALITY (1 credit each, 1 credit for every additional beyond prerequisite amount)						
Prerequisite minimum materiality strategy		(1)	(1)	(1)	(1)	(0)
Preferred Materials	2					
Material Treatment	Unlimited					
Façade Depth	Unlimited					
Shading	Unlimited					
QUALIFYING CREDITS: CREATIVE DESIGN (1 CREDIT)						
	1					
TOTAL CREDITS REQUIRED		(4)	(4)	(6)	(6)	(4)
TOTAL CREDITS PROVIDED						
Does this project meet minimum requirements? (Y/N)						

LONG FACADES STRATEGY - WEST FACADE

	200 TO 350 FEET	350+ FEET
	PRIMARY	SECONDARY
MAX. CREDITS for every additional beyond prerequisite amount	1	1
QUALIFYING CREDITS: MASSING AND MODULATION (1 credit each, worth 2 credits for every additional beyond prerequisite amount)		
Prerequisite minimum combination of massing OR modulation strategies	2	1
MASSING		
Setbacks	2	1
Building Over Mid-Block Passages	Unlimited	1
External Courtyards	Unlimited	1*
MODULATION		
Multiple Façade Systems	2	2
Volumetric Façade Articulation	Unlimited	1
Roofline Modulation	1	1
QUALIFYING CREDITS: MATERIALITY (1 credit each, 1 credit for every additional beyond prerequisite amount)		
Prerequisite minimum materiality strategy	1	1
Preferred Materials	2	1
Material Treatment	Unlimited	1
Façade Depth	Unlimited	1*
Shading	Unlimited	1
QUALIFYING CREDITS: CREATIVE DESIGN (1 CREDIT)		
Prerequisite minimum creative design strategy	1	1
Exemplary Design	1	1
TOTAL CREDITS REQUIRED	4	4
TOTAL CREDITS PROVIDED	6	6
Does this project meet minimum requirements? (Y/N)	Y	Y



PREFERRED MATERIALS

TABLE 6.18.6: Preferred Materials

METALS	CONCRETE	STONE	EARTHEN	WOOD
Materials that cast shadows, have visual depth, seams, and articulated reveals.	Materials that have texture and articulation	Materials that have texture and articulation	Materials that have an inherent texture, with extruded, cast, or fired materials	Materials that accentuate the human scale, with preference for façades or rain screen panels, louver systems, or accent elements
Examples Include: Weathered or Rustic Steel (treated) Articulated Metal Panels such as standing seam (SSM), shingle, flat panel Copper	Examples Include: Precast with Texture Board-Formed Expressed Joints/Formwork Bush-Hammered Etched Chiseled	Examples Include: Marble (excluding polished marble) Slate Basalt Sandstone	Examples Include: Terracotta Ceramics Brick	Examples Include: True wood Timber hardwood, Engineered wood products

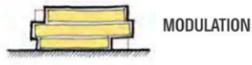
MATERIAL TREATMENT AND APPLICATION

TABLE 6.18.7: Material Treatment and Application of Craft

METALS	CONCRETE	STONE	GLASS, COMPOSITES, PLASTICS*	WOOD
Metal products that achieve material texture or relief	Concrete construction that expresses joints, cast-in texture, or formwork	Stone materials that give relief and tactility.	Glass, composites or plastics that are textured. Extruded forms are considered acceptable material treatment.	Wood products that add texture and tactility, as well as human scale
Examples Include: Weathering, Burnishing, Sandblasting, Brushing Grinding, Extruding, Weaving, Acid etching, Water jet or laser cutting, Embossing, Perforating, Forming, Hammering	Examples Include: Board-formed concrete Bush hammering Etching Chiselling	Examples Include: Chiseled Bush-hammered	Examples Include: Cast Etched Carved Printed	Examples Include: Grooved Milled Water-jet Laser cut

Terra Cotta

*Though glass and plastics alone are not "preferred materials."

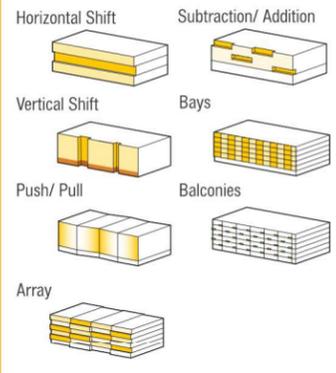


MODULATION : Multiple Facade Systems

Multiple Façade Systems



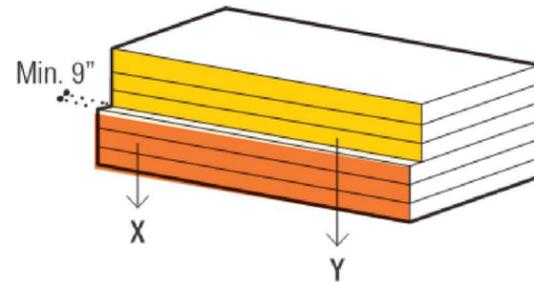
Volumetric Façade Articulation



Roofline Modulation



Two Façade Systems

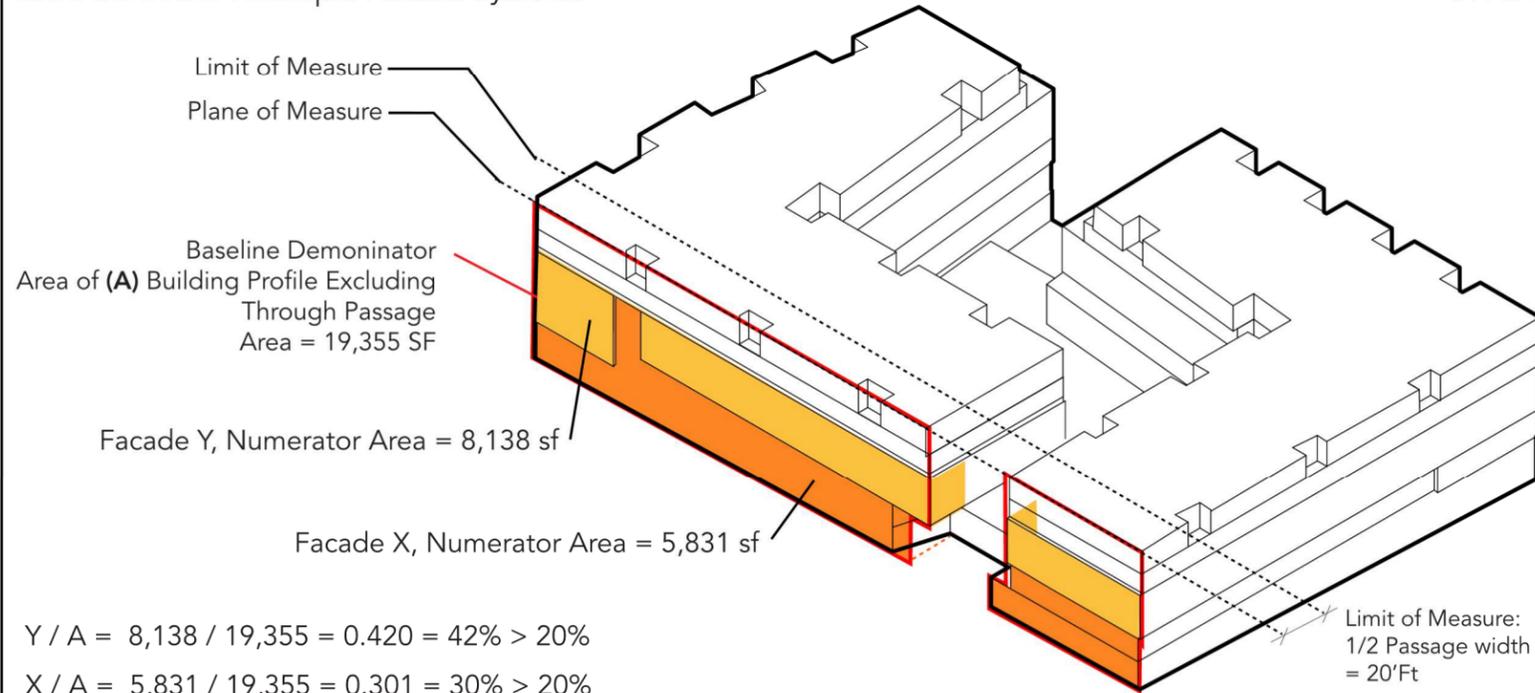


In this example:
 $X/A \geq 20\%$ & $Y/A \geq 20\%$ → CREDITS ACHIEVED: 1

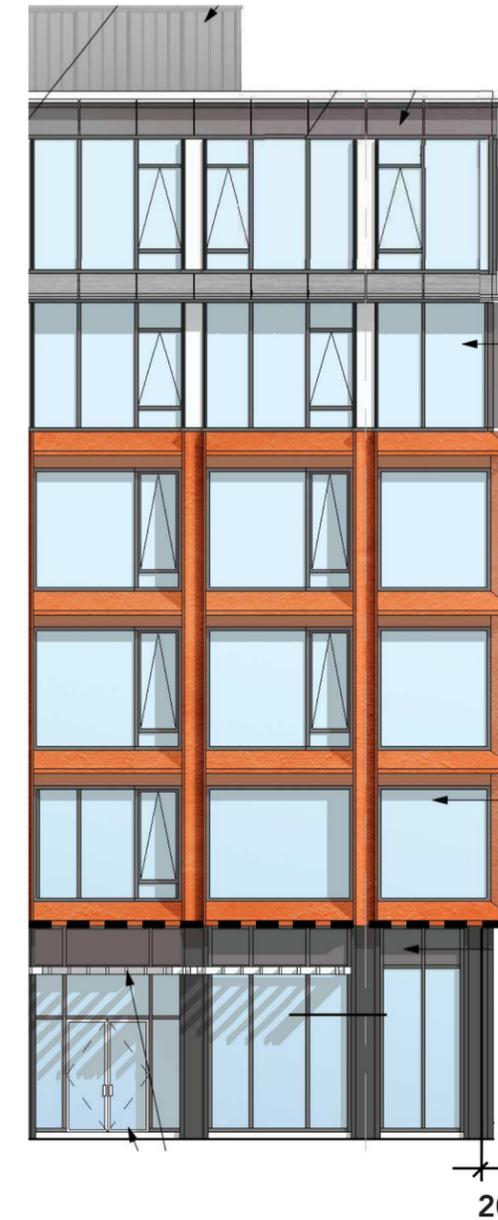
The facade is expressed in multiple facade systems: Type A = Metal Frame Glazing Assembly System, Type B = Precast Profiled Frame

MODULATION : Multiple Facade Systems

2 FACADE SYSTEMS : TYPE X / TYPE Y



$Y / A = 8,138 / 19,355 = 0.420 = 42\% > 20\%$
 $X / A = 5,831 / 19,355 = 0.301 = 30\% > 20\%$



TYPE Y < 20%*

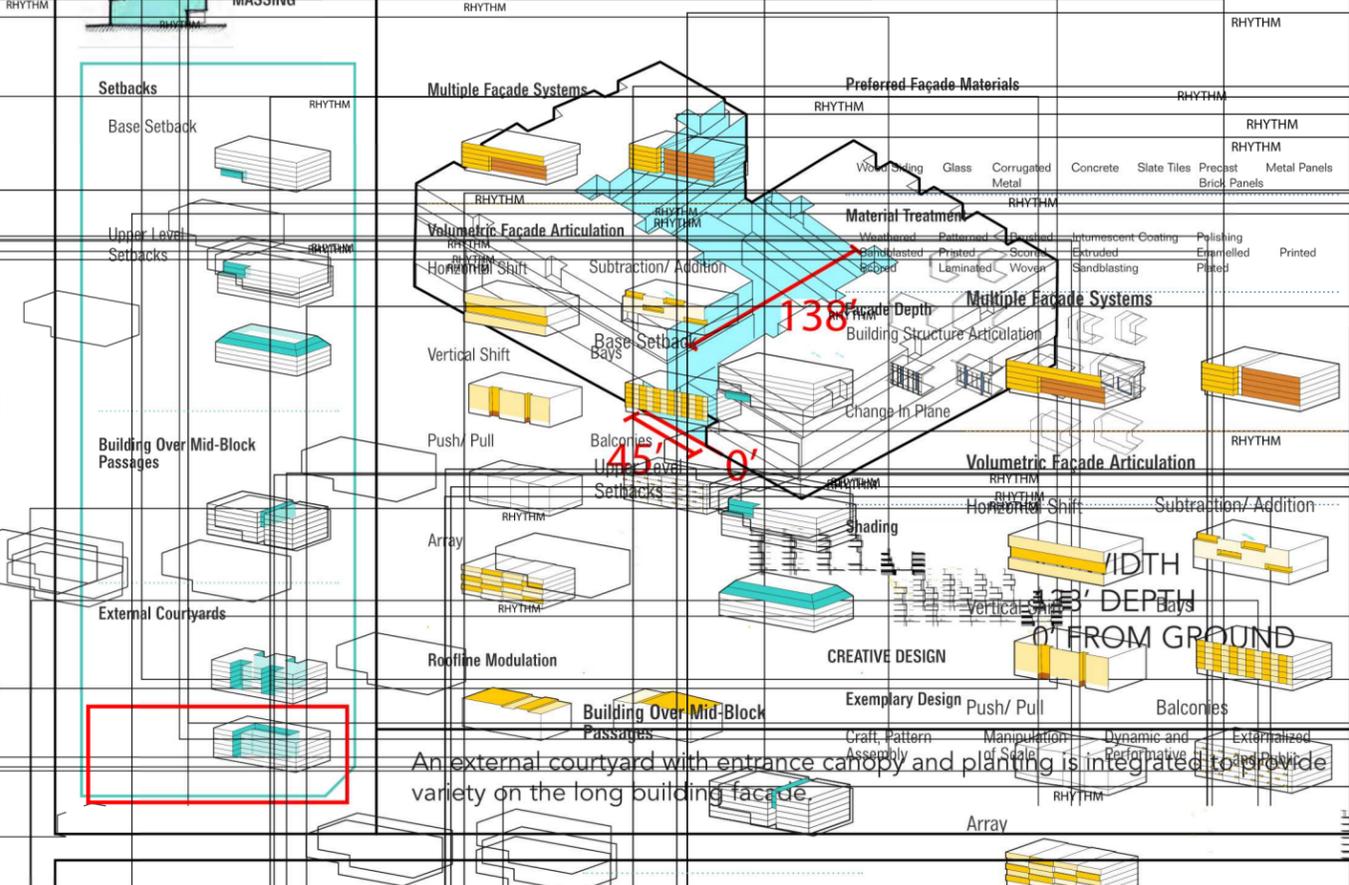
SHIFT

TYPE X < 20%*

* $Y / A = 8,138 / 19,355 = 0.420 = 42\% > 20\%$
 * $X / A = 5,831 / 19,355 = 0.301 = 30\% > 20\%$

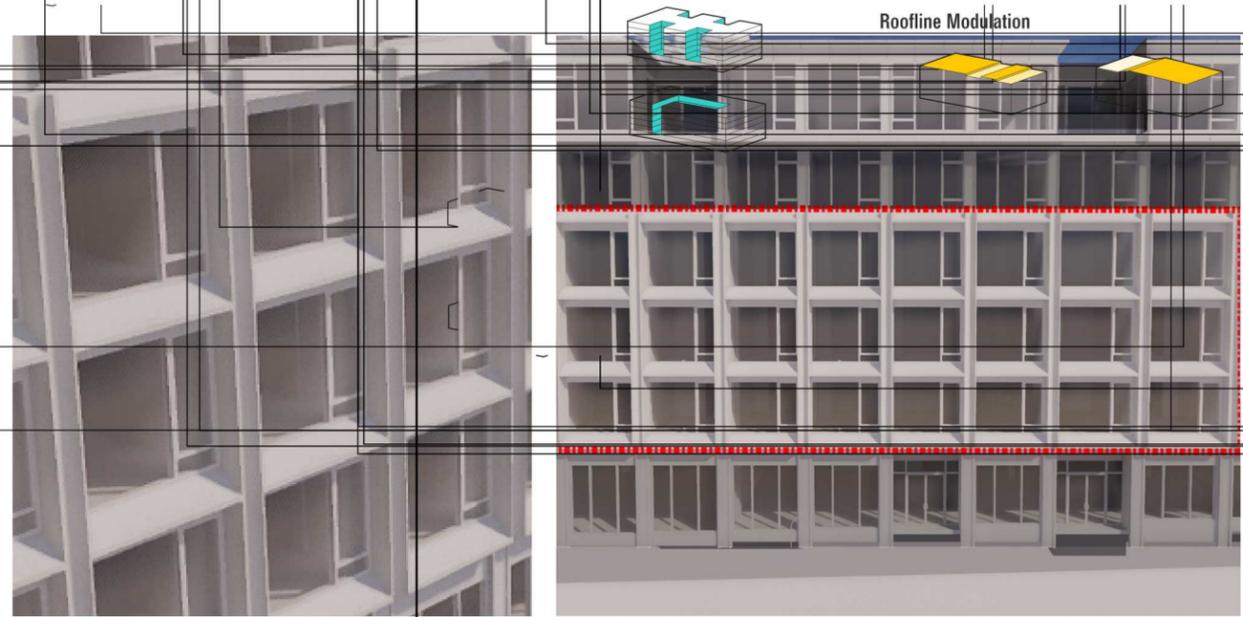
LONG FACADES STRATEGY - WEST FACADE

MASSING : External Courtyards



An external courtyard with entrance canopy and planting is integrated to provide variety on the long building facade.

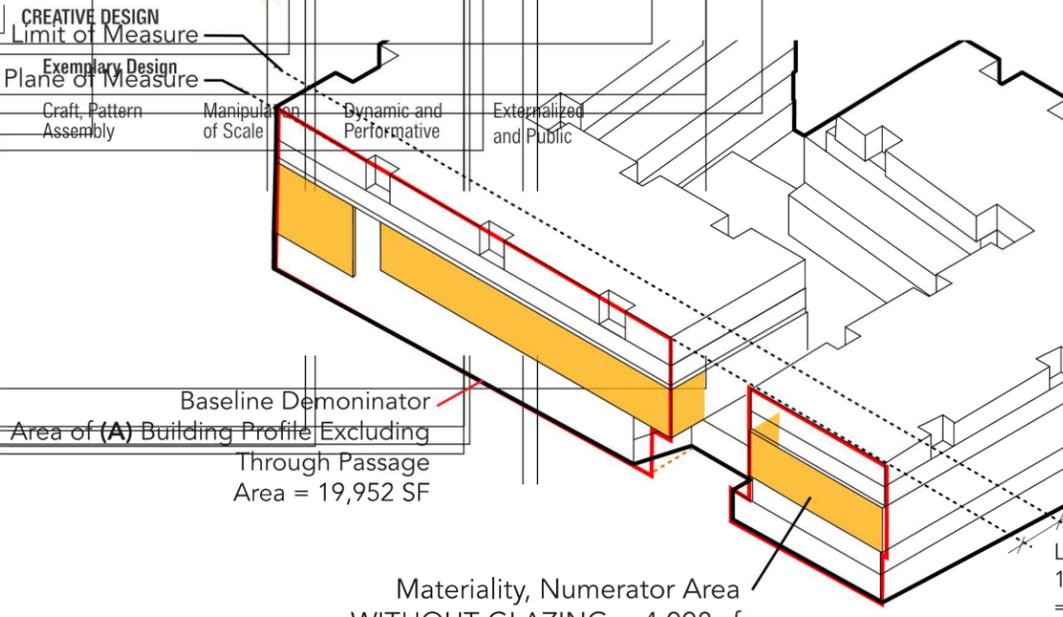
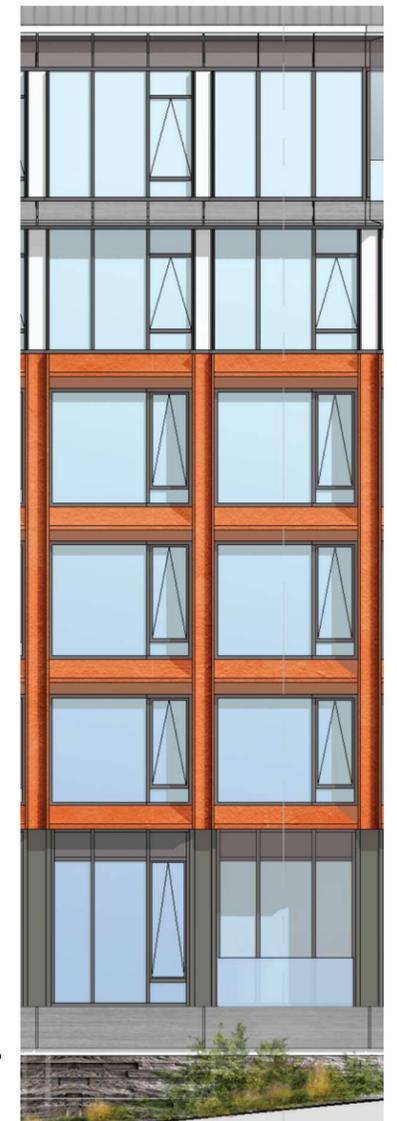
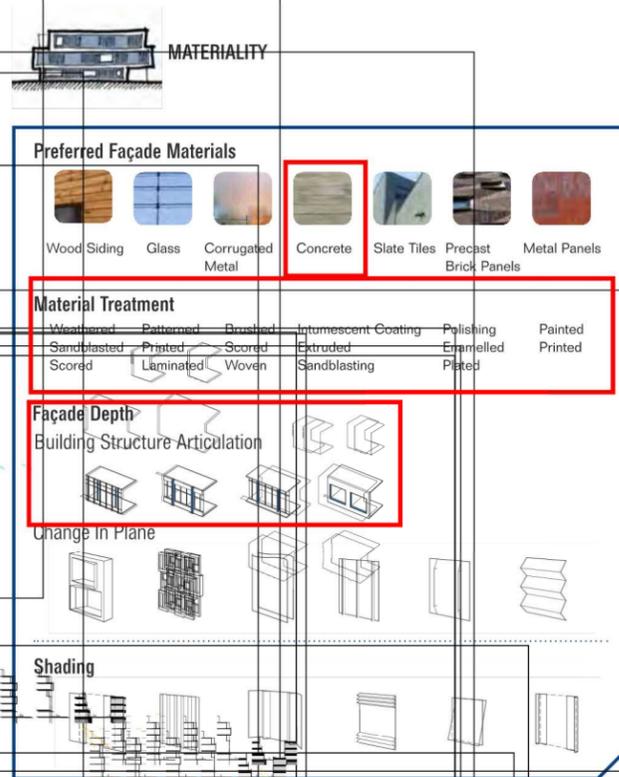
FACADE DEPTH (Building Structure Articulation)



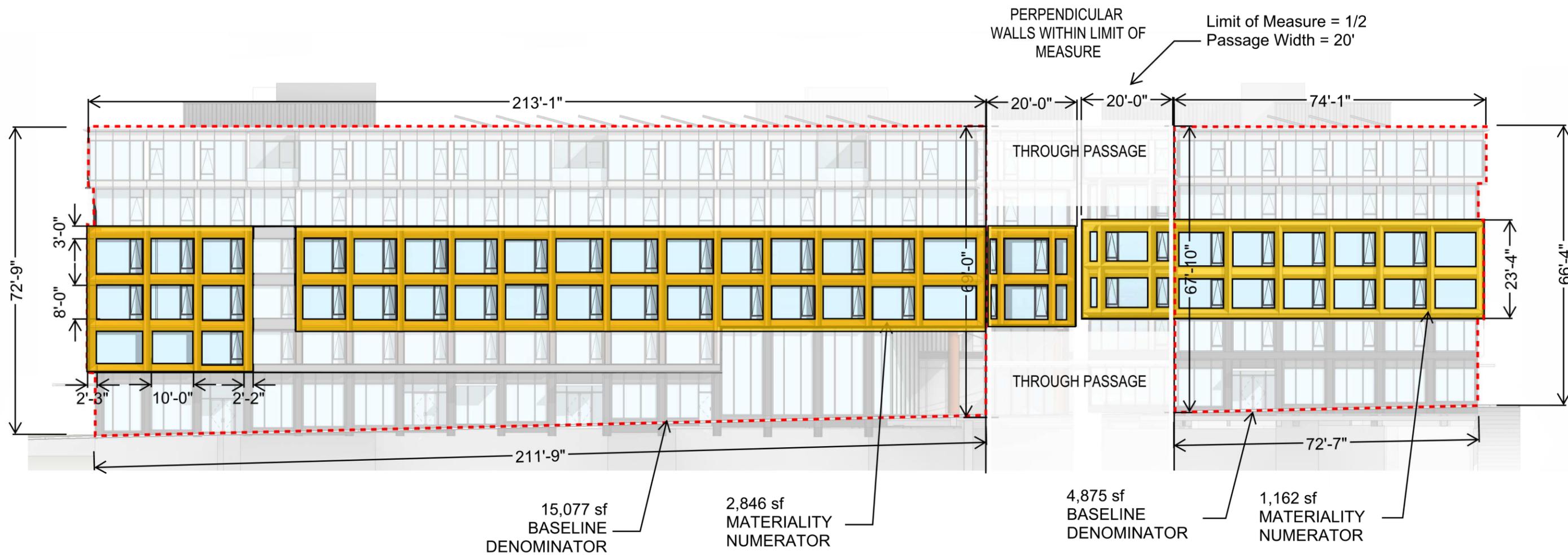
The outlined frame projects out 20" from the glass line to create depth in the facade.

MATERIALITY / TREATMENT : PRECAST CONCRETE

Precast Concrete frames with Integral Color, Polishing, and Applied Glaze. Frames are cast in a profiled shape for articulation. As such we have applied 1 Credit for Preferred Materials (Concrete with articulation, aggregate polishing, applied glaze) and 1 Credit for Material Treatment (Concrete that expresses 3-dimensional formwork).



$$4,008 / 19,952 = 0.20 = 20.1\% > 20\%$$



MATERIALITY NUMERATOR = Area of material EXCLUDING glazing area

2,846 sf + 1,162 sf = 4,008 sf

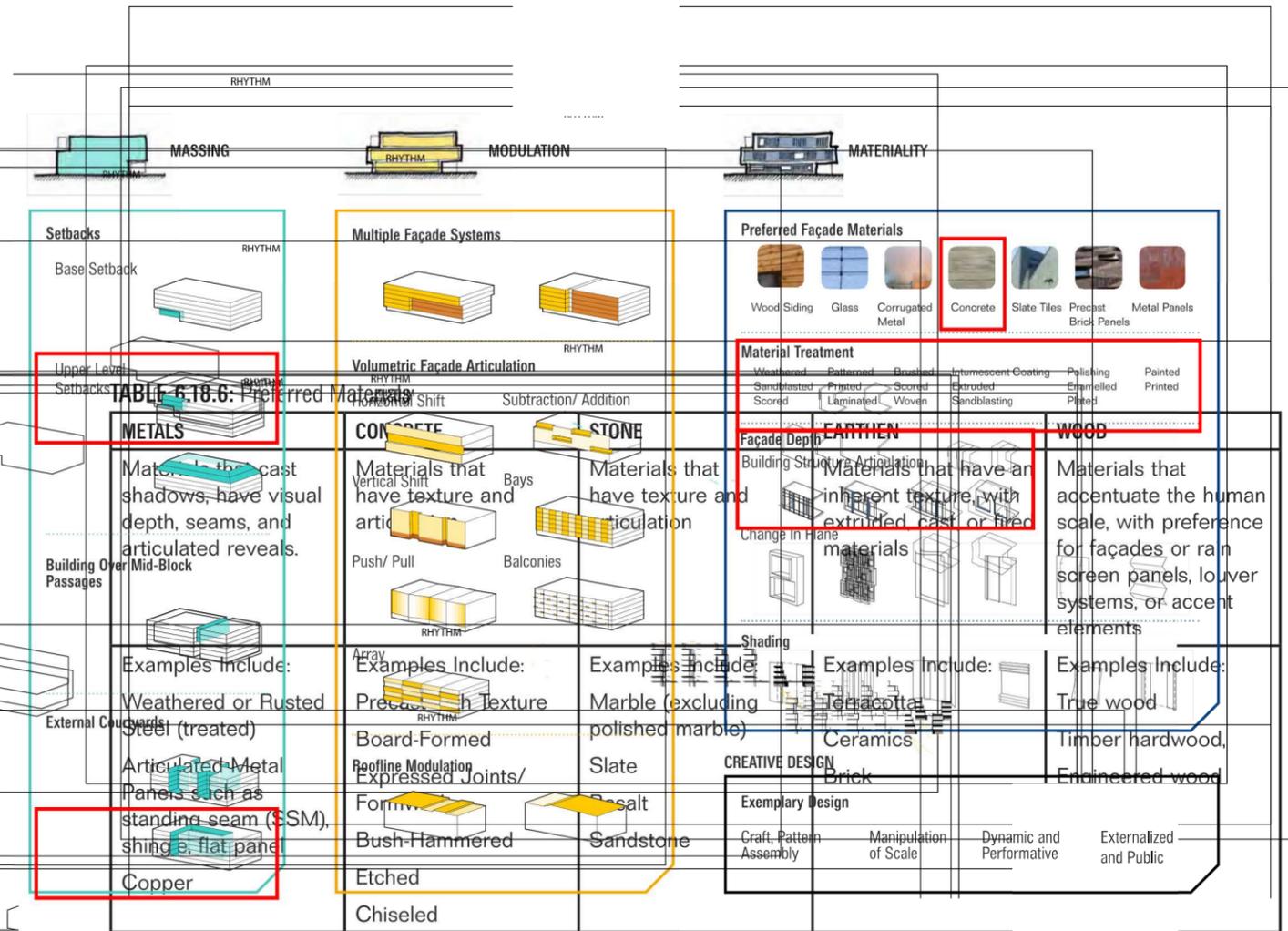
BASELINE DENOMINATOR = Area of (A) profile excluding through passage

15,077 sf + 4,875 sf = 19,952 sf

$$4,008 / 19,952 = 0.20 = 20.1 \% > 20 \%$$

LONG FACADES STRATEGY - EAST FACADE

MAX. CREDITS	200 TO 350 FEET					
	DITS	PRIMARY	SECONDARY	PRIMARY	SECONDARY	
QUALIFYING CREDITS: MASSING AND MODULATION (1 credit each, worth 2 credits for every additional beyond prerequisite amount)						
Prerequisite minimum combination of massing OR modulation strategies		2	1	2	1	0
MASSING						
Setbacks	2 ed		2			
Building Over Mid-Block Passages	Unlimited		1*			
External Courtyards	Unlimited					
MODULATION						
Multiple Façade Systems	2 ed					
Volumetric Façade Articulation	Unlimited					
Roofline Modulation	1					
QUALIFYING CREDITS: MATERIALITY (1 credit each, 1 credit for every additional beyond prerequisite amount)						
Prerequisite minimum materiality strategy		1	1	1	1	0
Preferred Materials	2	1	1	1	1	0
Material Treatment	Unlimited		1			
Façade Depth	Unlimited		1*			
Shading	Unlimited ed					
QUALIFYING CREDITS: CREATIVE DESIGN (1 CREDIT)						
Prerequisite minimum creative design strategy	1					
TOTAL CREDITS REQUIRED		4	4	6	6	4
TOTAL CREDITS PROVIDED			6			
Does this project meet minimum requirements? (Y/N)			Y			



PREFERRED MATERIALS

TABLE 6.18.6: Preferred Materials

METALS	CONCRETE	STONE	EARTHEN	WOOD
Materials that cast shadows, have visual depth, seams, and articulated reveals.	Materials that have texture and articulation	Materials that have texture and articulation	Materials that have an inherent texture, with extruded, cast, or fired materials	Materials that accentuate the human scale, with preference for façades or rain screen panels, louver systems, or accent elements
Examples Include: Weathered or Rusty Steel (treated) Articulated Metal Panels such as standing seam (SSM), shingle, flat panel Copper	Examples Include: Precast with Texture Board-Formed Expressed Joints/ Formwork Bush-Hammered Etched Chiseled	Examples Include: Marble (excluding polished marble) Slate Basalt Sandstone	Examples Include: Terracotta Ceramics Brick	Examples Include: True wood Timber hardwood, Engineered wood products

MATER

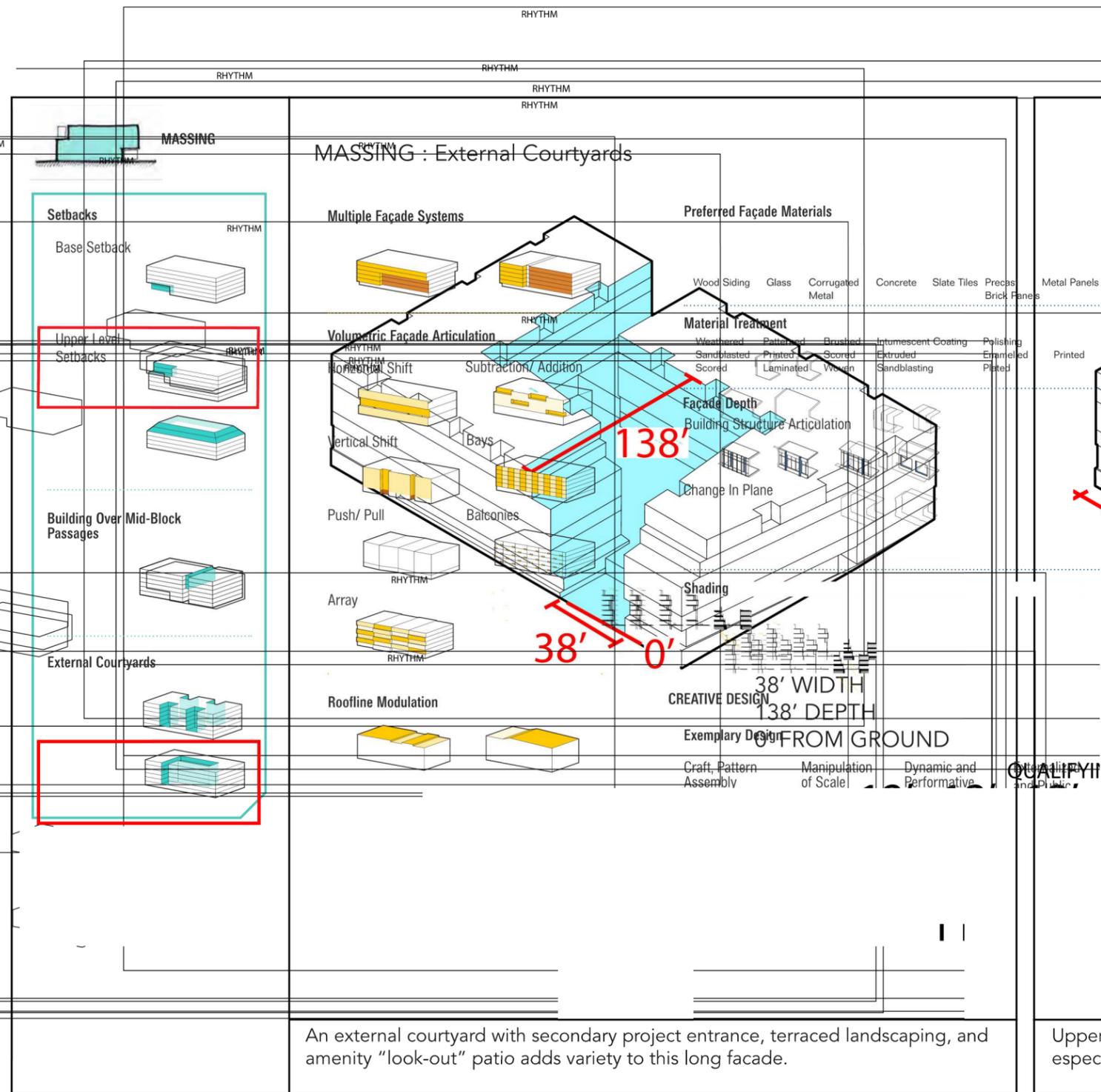
TABLE 6.18.7: Material Treatment and Application of Craft

METALS	CONCRETE	STONE	GLASS, COMPOSITES, PLASTICS*	WOOD
Metal products that achieve material texture or relief	Concrete construction that expresses joints, cast-in texture, or formwork	Stone materials that give relief and tactility.	Glass, composites or plastics that are textured. Extruded forms are considered acceptable material treatment.	Wood products that add texture and tactility, as well as human scale
Examples Include: Weathering, Burnishing, Sandblasting, Brushing Grinding, Extruding, Weaving, Acid etching, Water jet or laser cutting, Embossing, Perforating, Forming, Hammering	Examples Include: Board-formed concrete Bush hammering Etching Chiselling	Examples Include: Chiseled Bush-hammered	Examples Include: Cast Etched Carved Printed	Examples Include: Grooved Milled Water-jet Laser cut

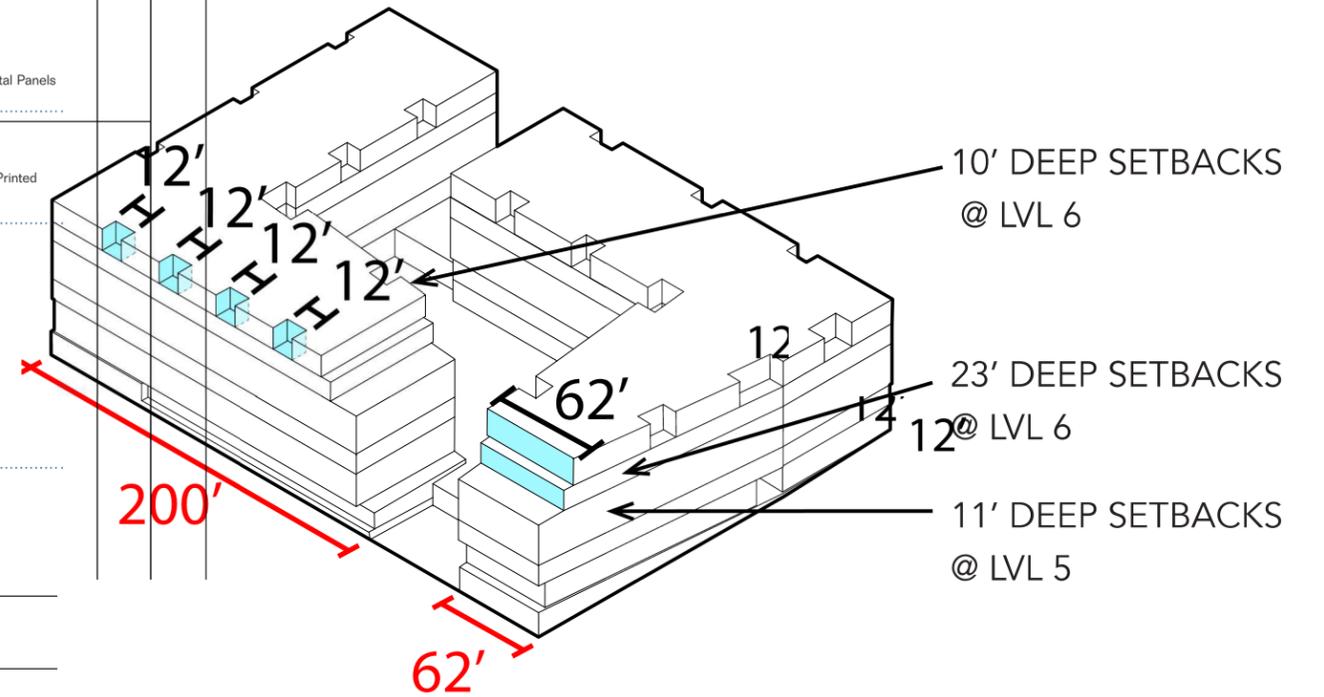
Terra Cotta

*Though glass and plastics alone are not "preferred material"

LONG FACADES STRATEGY - EAST FACADE



MASSING : Setbacks (Upper Level Setbacks)



QUALIFYING NUMERATOR
 $12' + 12' + 12' + 12' + 62' = 110'$

BASELINE DENOMINATOR
 $200' + 62' = 262'$

$110' / 262' = 41\% > 33\%$

Upper level setbacks create visual variety at the upper floors and roof line, creating visual interest and reduce the volume, especially near the adjacent cultural resource (see Cultural Adjacency Strategy)

MATERIALITY / TREATMENT : PRECAST CONCRETE

Precast Concrete frames with Integral Color, Polishing, and Applied Glaze. Frames are cast in a profiled shape for articulation. As such we have applied 1 Credit for Preferred Materials (Concrete with articulation, aggregate polishing, applied glaze) and 1 Credit for Material Treatment (Concrete that expresses 3-dimensional formwork)

Preferred Façade Materials

Wood Siding, Glass, Corrugated Metal, **Concrete**, Slate Tiles, Precast Brick Panels, Metal Panels

Material Treatment

Weathered, Patterned, Brushed, Intumescent Coating, Polishing, Painted
 Sandblasted, Printed, Scored, Extruded, Enamelled, Printed
 Scored, Laminated, Woven, Sandblasting, Plated

Façade Depth

Building Structure Articulation

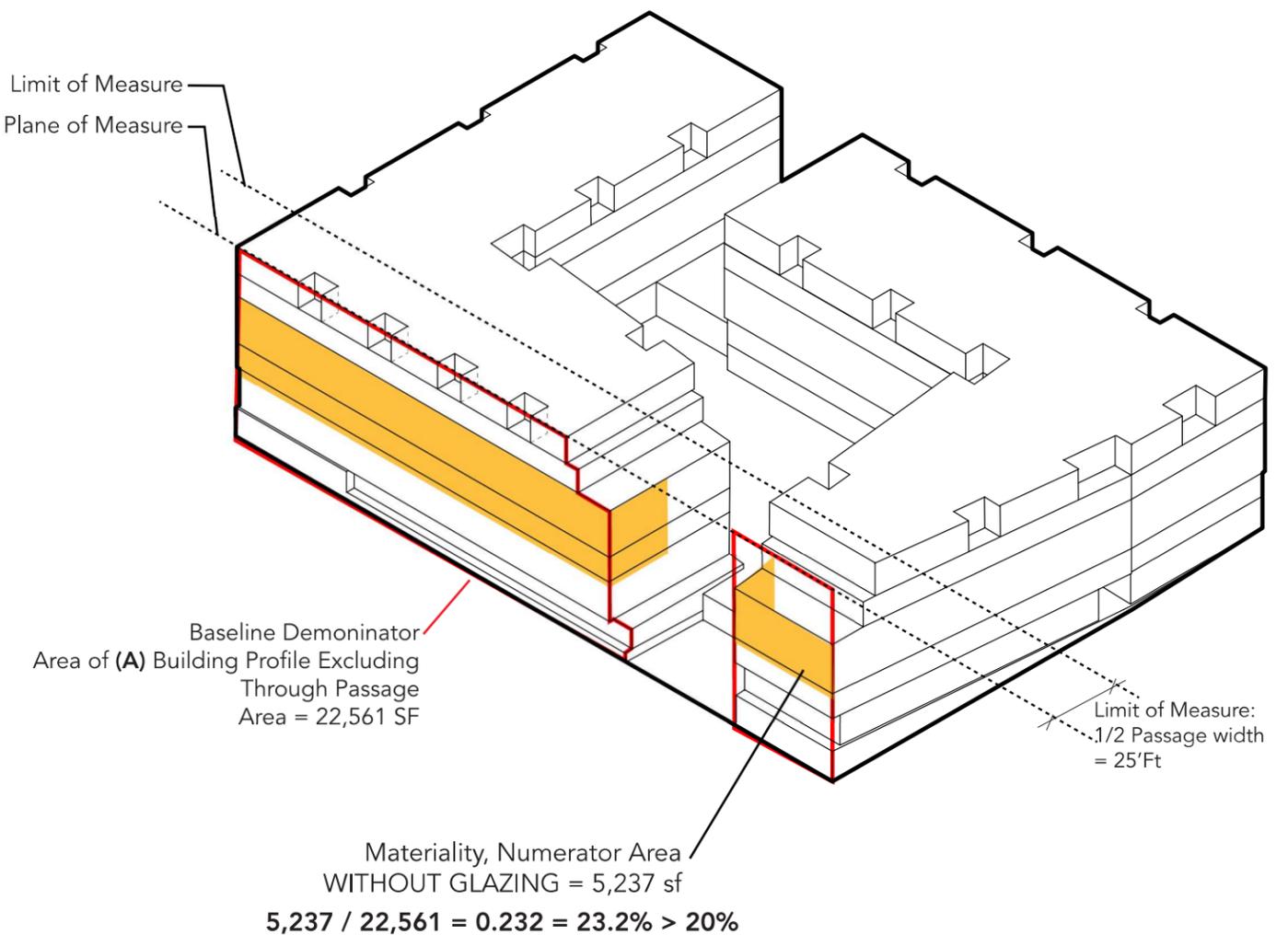
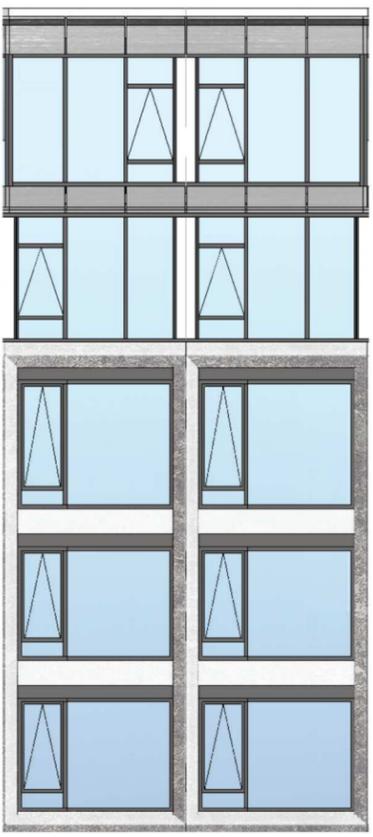
Change in Plane

Shading

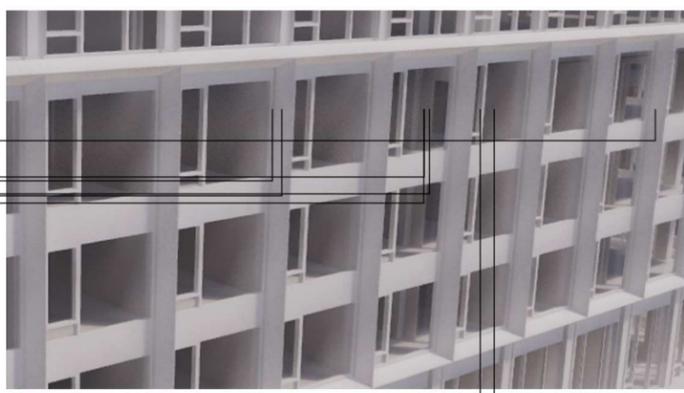
CREATIVE DESIGN

Exemplary Design

Craft, Pattern Assembly, Manipulation of Scale, Dynamic and Performative, Externalized and Public



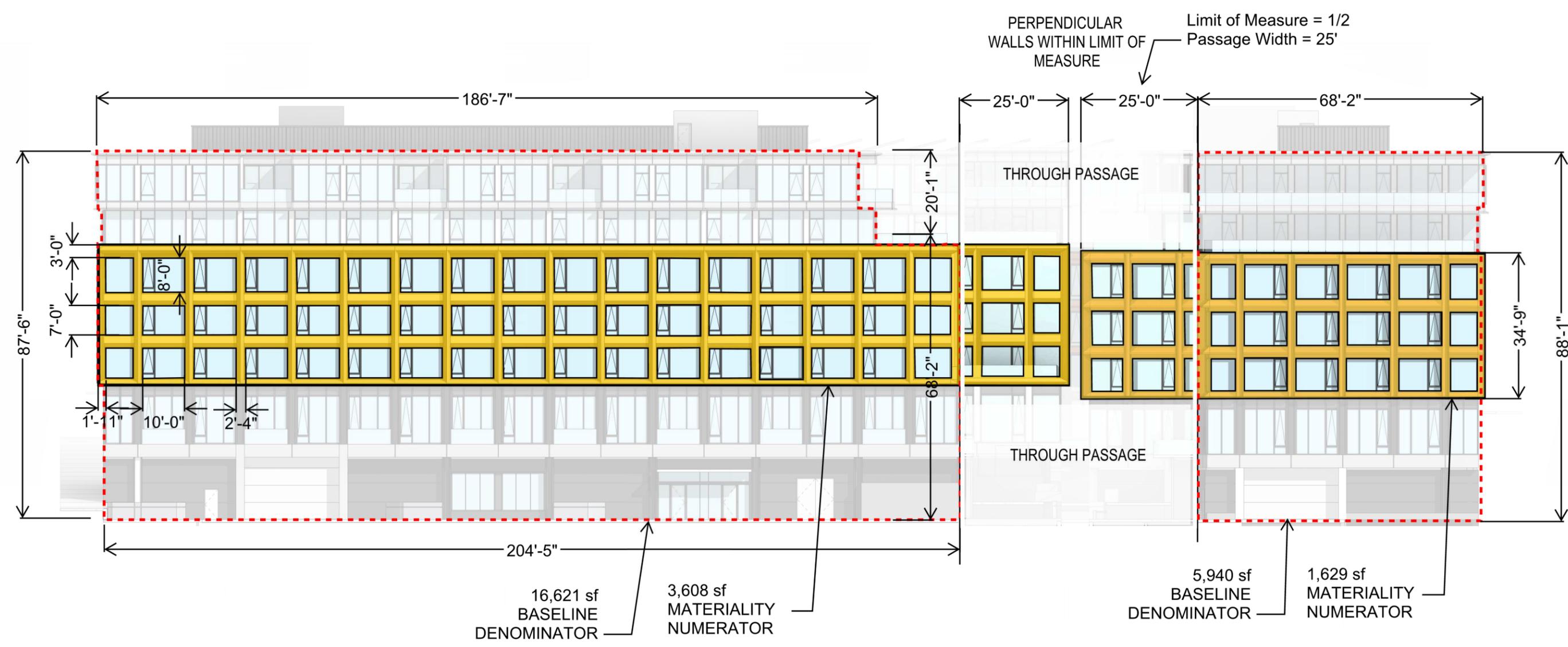
FACADE DEPTH (Building Structure Articulation)



The outlined frame projects out 20" from the glass line to create depth in the facade.

PROPOSED PROJECT GLAZING SPECIFICATIONS:

- GL01: PRIMARY WINDOW UNIT VISION GLASS**
 Insulating Low-E Glass Unit, Safety Glass Where Required By Code
 Outer Lite: Heat Strengthened, Optiwhite HS; Inner Lite: Fully-Tempered (Safety Glass), Optiwhite Hs
 Glass Panel Manufacturer To Be Selected In Visual Mock-Up:
 Alternate 1: Viracon 1" Insulating Vne24-63; Alternate 2: Vitro Solarban 70XI On Clear Low-E Glass
- GL02: SAFETY GLASS AT STOREFRONTS AND LOBBY ENTRANCES**
 Low Iron Insulating Glass Unit, Vision; Safety Glass To Interior Side And Exterior
- GL-03: GUARDRAIL GLASS AT UNIT BALCONIES, TERRACES AND JULIETS**
 Low Iron Fully Tempered Glass; Eased And Polished Edges
 Glass Divided With Mullion Spacing As Per Applicable Bird Safe Requirements



MATERIALITY NUMERATOR = Area of material EXCLUDING glazing area 3,608 sf + 1,629 sf = 5,237 sf

BASELINE DENOMINATOR = Area of (A) profile excluding through passage 16,621 sf + 5,940 sf = 22,561 sf

$= 0.232 = 23.2\% > 20\%$

CULTURAL ADJACENCY STRATEGY

S6.15.5 RELATED TREATMENT TO ADJACENT RESOURCES.

In locations shown in Figure 6.15.6 and indicated in Table 6.15.3, new construction shall incorporate elements that relate to the adjacent resource while keeping with contemporary construction.

Related treatment may highlight the following from the adjacent resource:

- Reflect height datum;
- Bay rhythm/vertical modulation;
- Glazing proportions and/or pattern;
- Horizontal banding;
- Material grain; or
- Alignments with key edges, datums, or openings.

TABLE 6.15.3: Related Treatment to Adjacent Resources

PARCEL	FAÇADE	BUILDING
B	Northeast	Building 6
D	West and South	Buildings 2 and 12
E1	East (partial) and South	Building 21
E4	West (partial)	Building 21
E2	West	Building 12
F/G	North	Building 12 or Building 15 structural frame
PKN	East, North	Buildings 113–116, Building 101

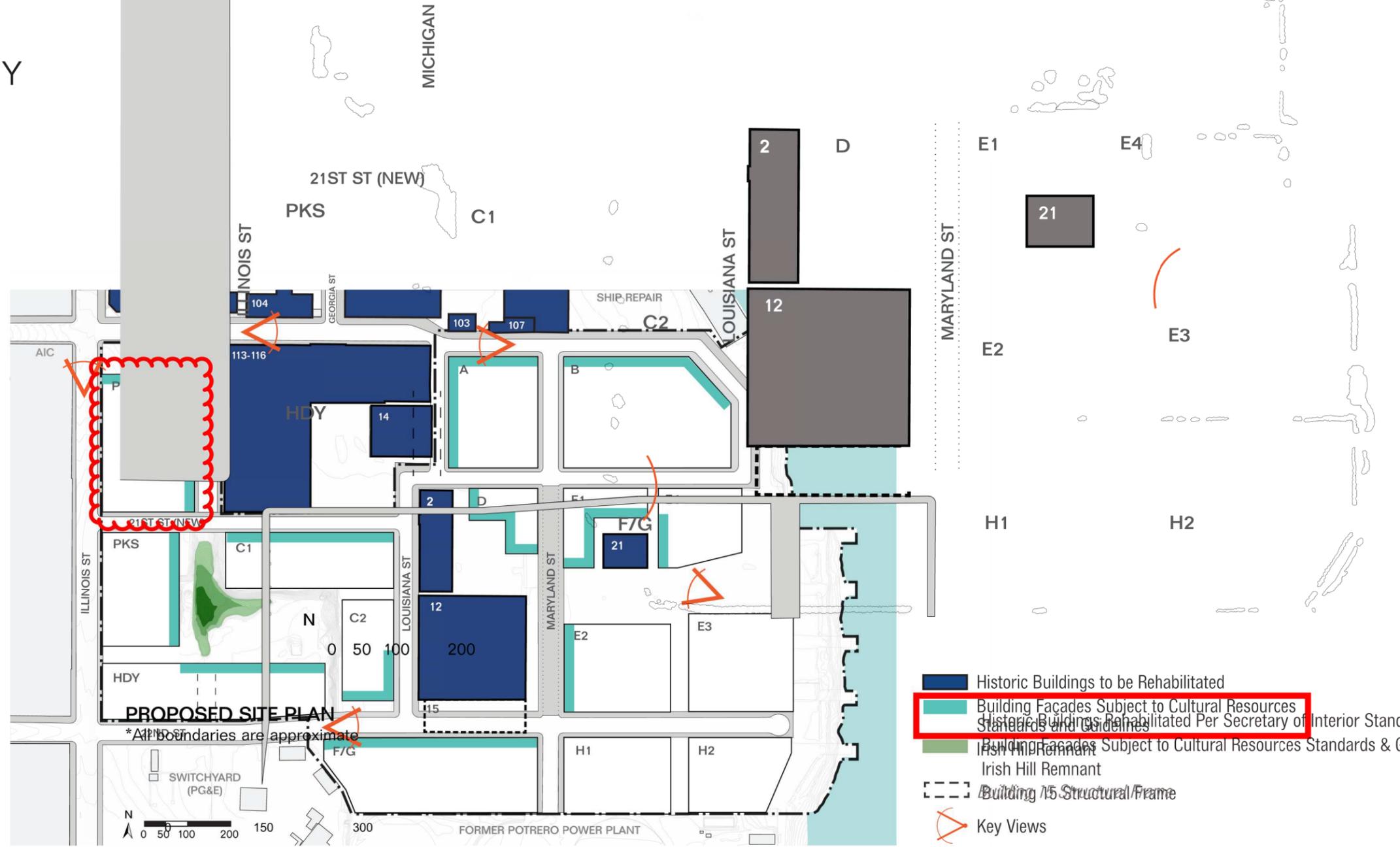
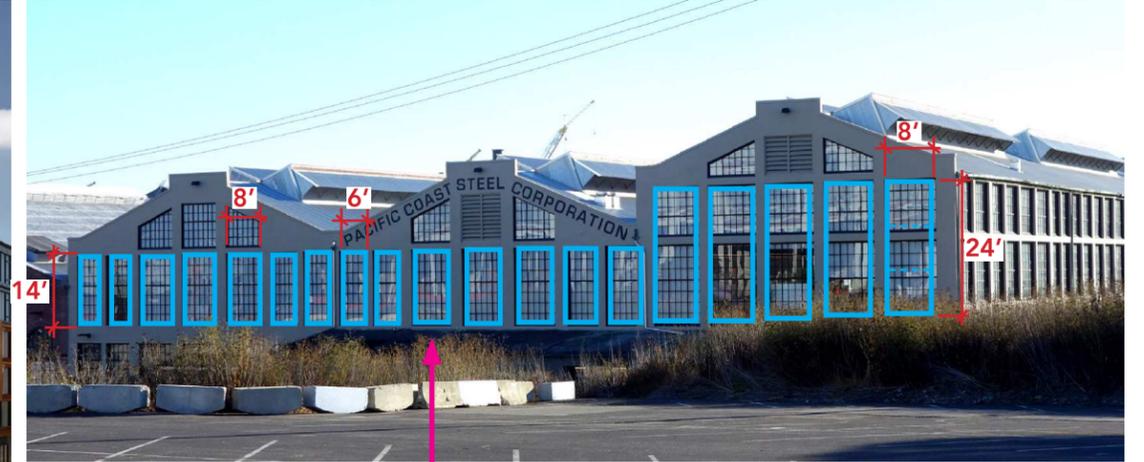


FIGURE 6.15.1: Facades Subject to Cultural Resources Standards and Guidelines
 *All boundaries are approximate

Historic Buildings Rehabilitated Per Secretary of Interior Standards
 Building Facades Subject to Cultural Resources Standards & Guidelines

- Historic Buildings to be Rehabilitated
- Building Facades Subject to Cultural Resources Standards & Guidelines
- Historic Buildings Rehabilitated Per Secretary of Interior Standards
- Building Facades Subject to Cultural Resources Standards & Guidelines
- Irish Hill Remnant
- Building 15 Structural Frame
- Key Views

ADJACENCY TO CULTURAL RESOURCES: RELATED TREATMENT - BUILDINGS 113-116



The massing and design of PKN's East facade has been carefully considered in relation to the adjacent cultural resource (Building 113-116).

The following elements have been integrated in the design:

- **1. Bay Rhythm and Glazing Proportion:**

The facade expression of large format window bays highlights the striking large-frame glazing patterns in Buildings 113-116. The rhythm of evenly spaced oversized windows that runs along the West facade of buildings 113-116 is reflected in the East facade of PKN, so that the overall size of the window bays have a complimentary rhythm. On PKN, the verticals of the large window frames are continuous, emphasizing the vertical proportion - also seen on 113-116.

- **2. Material Grain:**

Precast concrete cladding materials are selected with integral warmth and variation which relate in a contemporary manner to the similar historic materials in the adjacent resource. Because the proposed material is of integral color with polishing and applied glaze, there will be tonal variation in each panel. This variation is intended to be complimentary to the weathered brick of 113.

- **3. Alignments and Horizontal Banding:**

The existing horizontal band created by a change in material and shape in building 113 has been continued through the design of PKN. This horizontal band in PKN is created by a similar change of material and aligns with the cornice datum in building 113.

- Change in material aligns with the cornice datum in building 113 at approximately 27' above grade

ADJACENCY TO CULTURAL RESOURCES: RELATED TREATMENT - BUILDING 101



The massing and design of PKN's North façade has been carefully considered in relation to the adjacent cultural resource (Building 101).

The following elements have been integrated in the design:

1. Bay Rhythm and Vertical Modulation:

A strong verticality is expressed through the use of decorative columnades in the middle facade of Building 101. This vertical expression is carried into the middle facade design of PKN by the use of precast concrete frames and extruded vertical profiles. Both measure to be approximately 29' in height and repeat in a similarly spaced rhythm along the 20th St facades.

2. Glazing Pattern:

The glazing pattern of 3 windows per large bay in Building 101 has been similarly expressed in the glazing patterns of PKN with 3 windows per bay.

3. Horizontal Banding:

The shape and proportions of the cornice in the upper portion of Building 101 have been incorporated in the upper facade of PKN. Both cornices wrap continuously along the corner their corners of 20th Street and Illinois Street.



● Building 101 has a repetitive pattern of 10' wide bays divided into 3 panels that wraps the corner of 20th St. and Illinois St. This pattern is mirrored in PKN and wraps all sides of the building.

THANK YOU

