

Brookfield Properties

Ryan Wassum
Port Senior Planner

Dear Mr. Wassum,

Thank you for your completeness review comments for the Pier 70 Parcel A development on August 18, 2019. The design team has made necessary changes or provided additional information where necessary. The sheets referenced below correspond to where these changes have been made.

1. General Comments

a. D4D Compliance Table Zoning Narrative

Sheet G-001.2, Section 5.1 - Bicycle Parking - Retail tenants have not been determined, therefore, Brookfield has estimated a maximum of 10,307 SF of retail. This will likely be lower but not less than the required retail amount per the D4D.

Sheet G-003.1, Section B shows required retail in red with the potential added retail areas dashed in red.

b. Exterior Material Samples:

Exterior material board has been provided.

Sheets A-201 – A-206 describes the color of the MTL Cladding 1 material as gray/black simulated blackened steel.

Sheet G-003.4-G003.5, Section D – See narrative description on how proposed materials meet criteria for material treatment credits.

c. Printed versions of Sheet G-003.1 – New prints provided.

2. Site Plan / Floor Plans

a. Bicycle Parking:

- i. **Sheet A-060** Site plan – Class 2 bicycle parking spaces identified
- ii. **Sheet A-060** Site plan – Bicycle repair station location identified
- iii. **Sheet G-001.9** Zoning Narrative – Detail on Class 1 bicycle parking systems

b. Curb Cuts: **Sheet C-02** – See note on C-02 – details for driveways are included in the Pier 70 SUD Phase 1 Improvement Plans, Permit 19IE – 00245.

- c. Parking: **Sheet A-100** – Parking count breakdowns by what is required and proposed has been provided.
- 3. Transition Strips (D4D Ch. 5.6)
 - a. **Sheet A-303** - Driveway slope and transition strips have been dimensioned.
- 4. Long Façade in Key Locations (D4D Ch.6.18)
 - a. **Sheet G-003.4 – G-003.5, Sections B-C** Massing and modulation calculations and diagrams have been updated so that no architectural strategy is considered for both massing and modulation credits.
 - b. **Sheet G-003.4, Sections C** – Amount has been updated
 - c. **Sheet G003.4-G003.5, Section D** – Material areas for calculation have been dimensioned.

Regards,

Cutter MacLeod

PIER 70 PARCEL A - DESIGN REVIEW



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OWNER

BROOKFIELD DEVELOPMENT PROPERTIES
875 Howard Street, Suite 330
San Francisco, CA 94103

CMGC CONTRACTOR

SWINERTON
260 Townsend Street
San Francisco, CA 94107

PROJECT TEAM

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1516 SE 3rd Avenue, 5th Floor
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QUEZADA ARCHITECTURE
639 Front Street, 1st Floor
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(415) 331-5133

INTERIOR DESIGN

O+A
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7325 Puncture Landing Road
Pocomoke City, MD 21851
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STRUCTURAL

KPFF
111 SW Fifth Avenue, Suite 2600
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MEPE

MEYERS+
98 Battery Street, Suite 502
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8100 S. Flower Street, Suite 906
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PARKING

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560 14th St Suite # 300
Oakland, CA 94612
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CIVIL

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255 Shoreline Drive, Suite 200
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LANDSCAPE

LANGO HANSEN LANDSCAPE ARCHITECTS
1100 NW Glisan #3B
Portland, OR 97209
(503) 295-2437

PROJECT DESCRIPTION

The Parcel A project is a Class A, speculative office building with ground floor retail elements and below grade parking consistent with the Pier 70 SUD, Design for Development (D4D) document dated May 22, 2018.

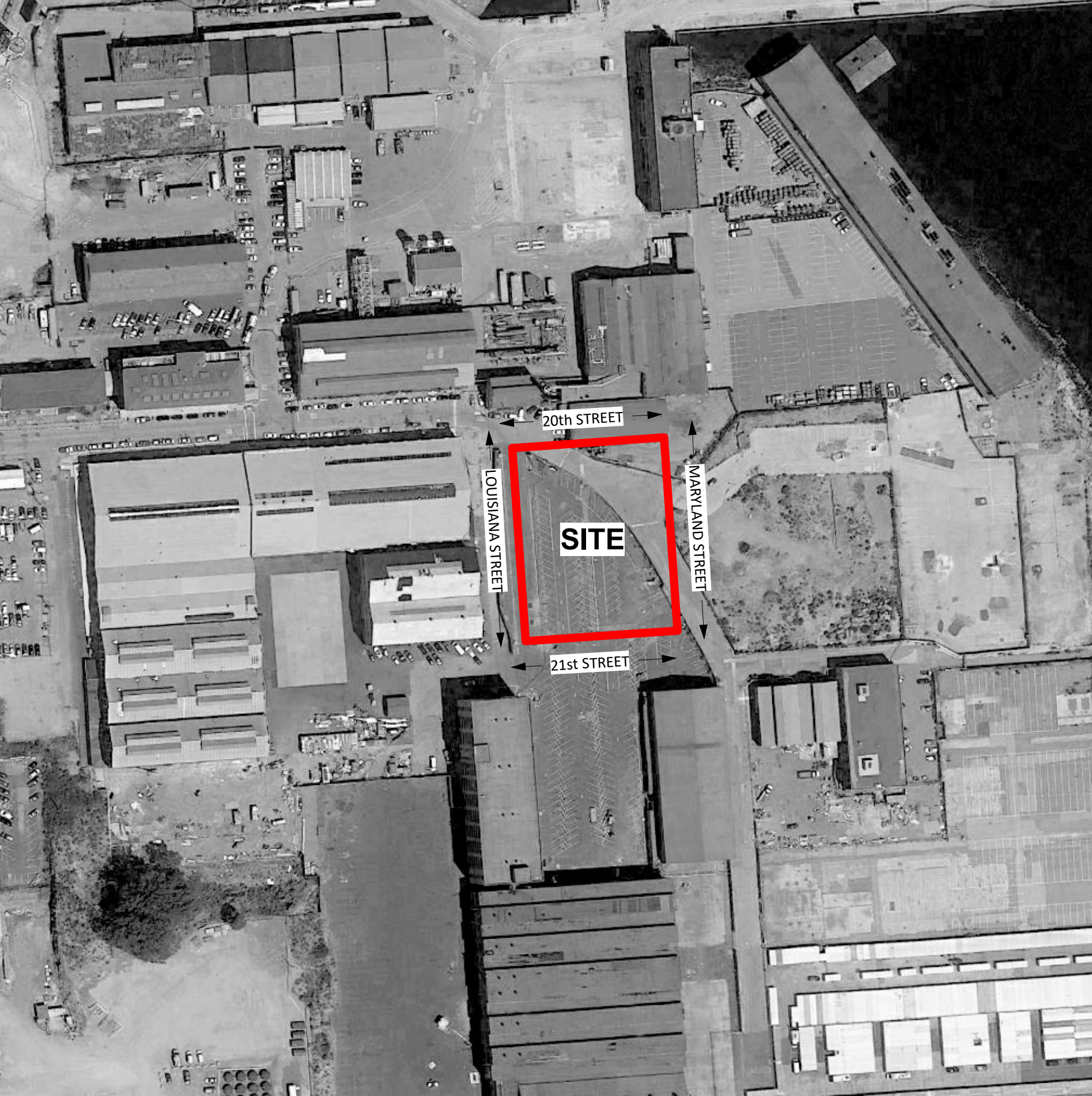
PROJECT SCOPE

This project scope includes design of the core and shell of the speculative office building and will include the design of parking, loading, mechanical/plumbing/electrical infrastructure, core spaces, lobby and common spaces on the interior. Most of the building interior will be unfinished leasable space.

Landscaping – The plantings shown in this package are conceptual and subject to change. The landscaping design is in development and will be presented as part of the continued development exercise. The plantings shown on the ground floor and on west side, third floor common use terrace will be designed and installed as part of the core and shell work. The scope also includes design intent for other exterior terraces that will be part of tenant space, and not be common use on the fifth and sixth floors. On these terraces, the owner will build the planter boxes and irrigation infrastructure as part of the core and shell work. A planting list created by the core and shell team will be included in the tenant agreement. The tenants will be responsible for the plantings based on the planting list to be developed and provided in the tenant standards handbook. The street trees and other plantings in the ROW are designed and permitted separately under the Horizontal Work.

Lighting –The lighting shown in this package is conceptual and subject to change. The lighting design is in development and will be presented as part of the continued development exercise. The streetlights in the ROW are designed and permitted separately under the Horizontal Work.

VICINITY MAP



ARCHITECTS

HACKER

733 SW Oak, Portland,OR 97205

QA

639 FRONT ST, SAN FRANCISCO, CA 94111

CONSULTANT

Mayor ED 17-02
Priority permit

STAMP



REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
100% DESIGN DEVELOPMENT

PROJECT NUMBER
1830

DATE
SEPTEMBER 16, 2019

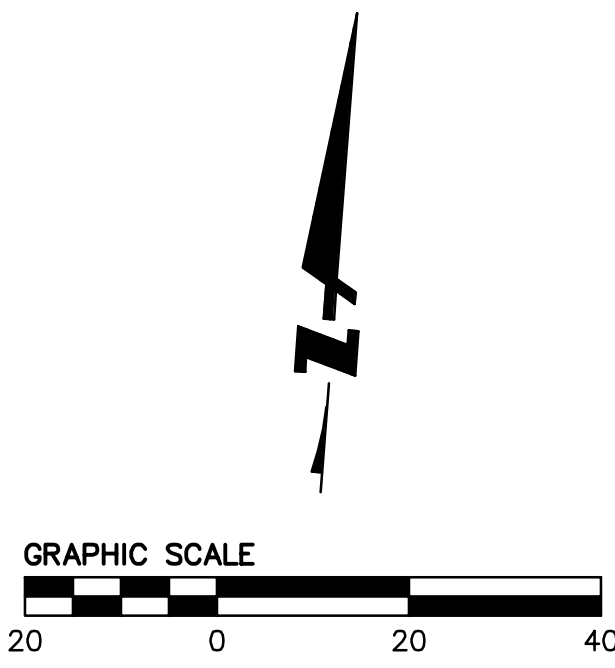
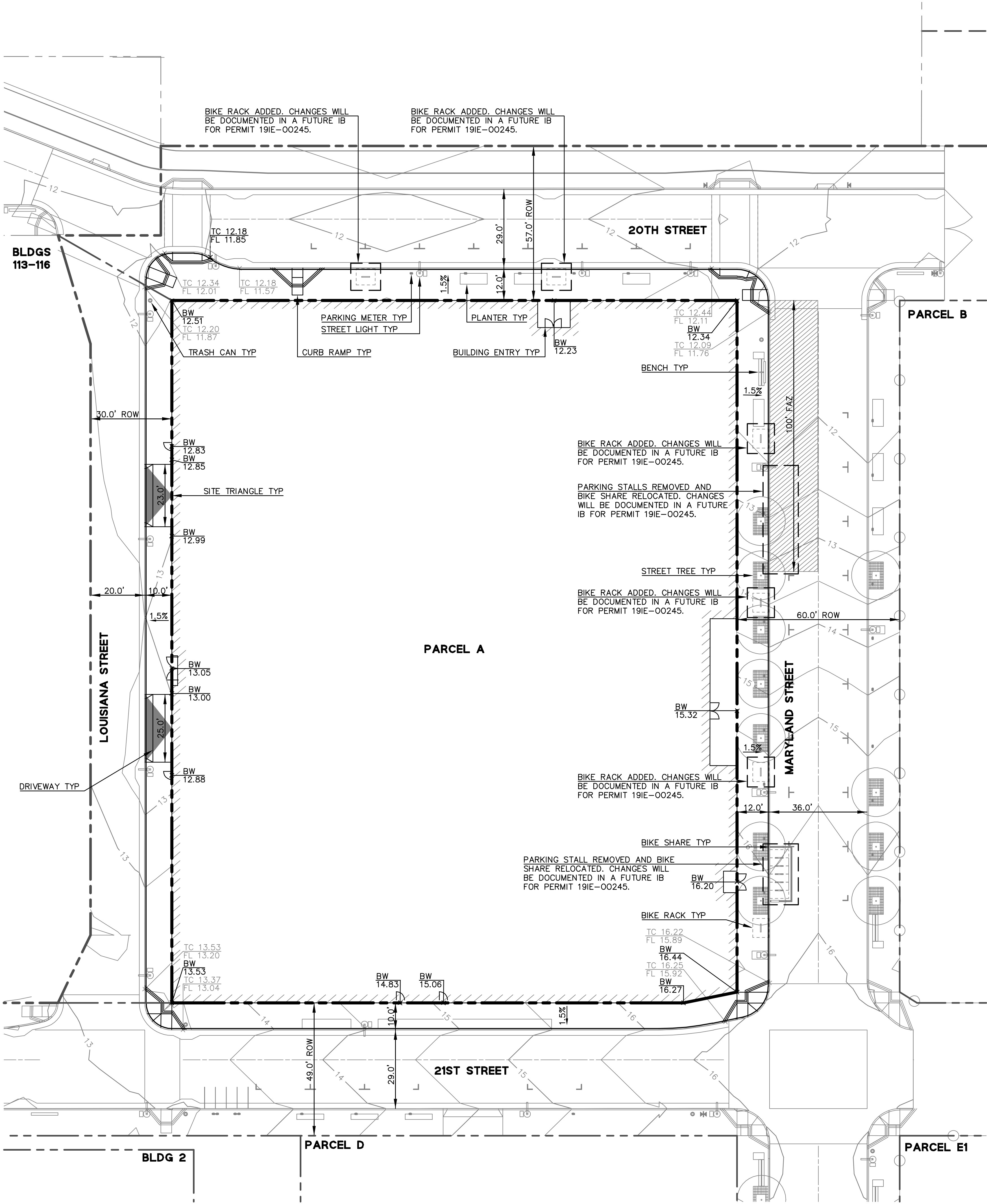
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12" = 1'-0"

DRAWING TITLE
COVER SHEET

SHEET NUMBER

G-000-1

DETAILS FOR IMPROVEMENTS ON FRONTAGES, INCLUDING TO CURB AND GUTTER, DRIVEWAYS, SIDEWALKS, ETC. ARE THE PIER 70 SUD PHASE 1 IMPROVEMENT PLANS, PERMIT



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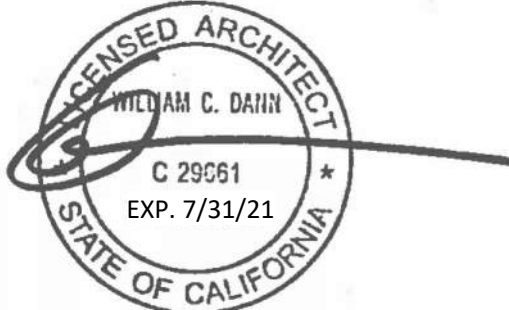


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SITE PERMIT

THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

STAMP



REVISION NO.

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KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE

SITE PERMIT

PROJECT NUMBER
1830

DATE
SEPTEMBER 04, 2019

SCALE

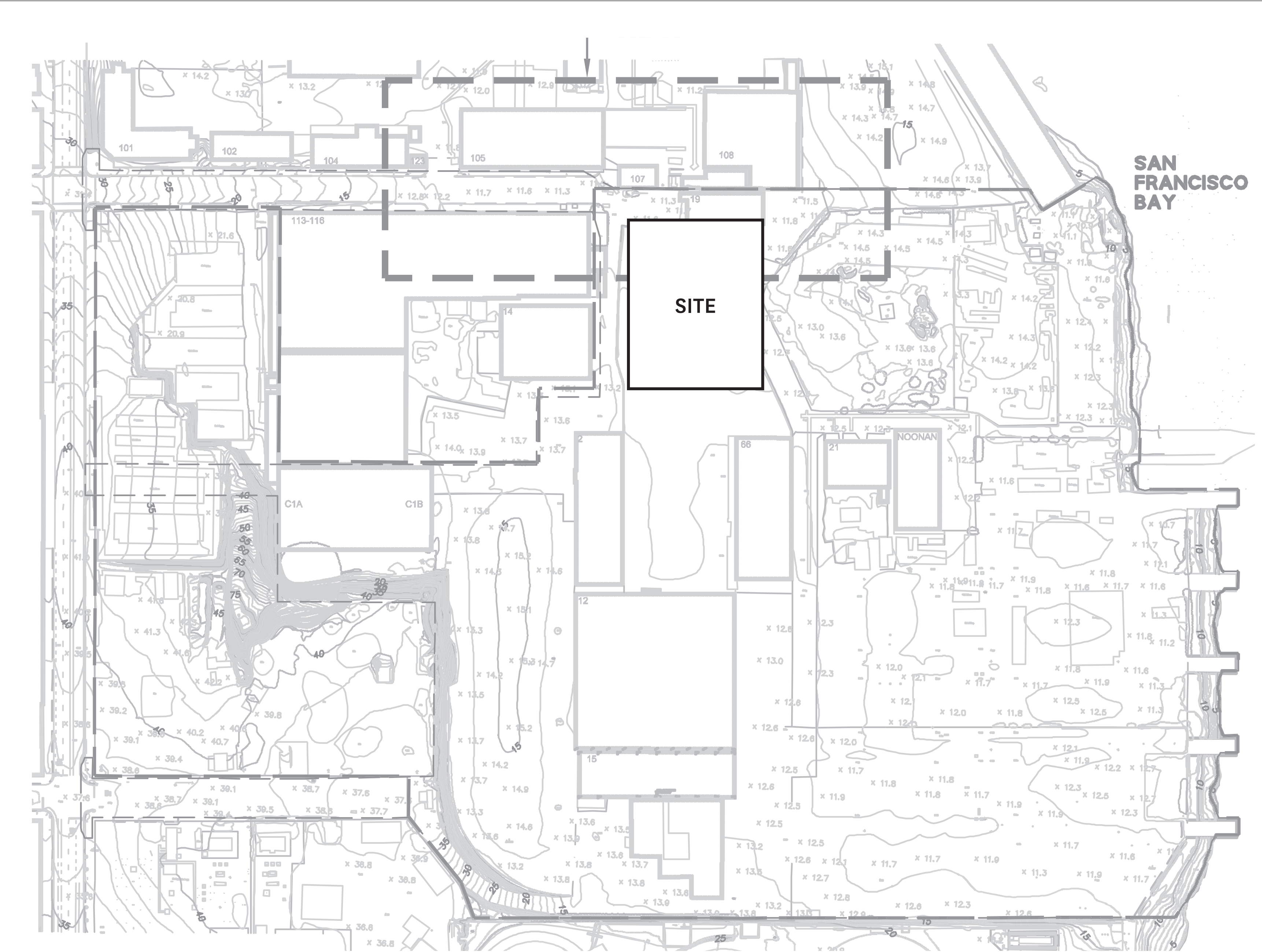
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SITE PLAN

SHEET NUMBER

G-000.2

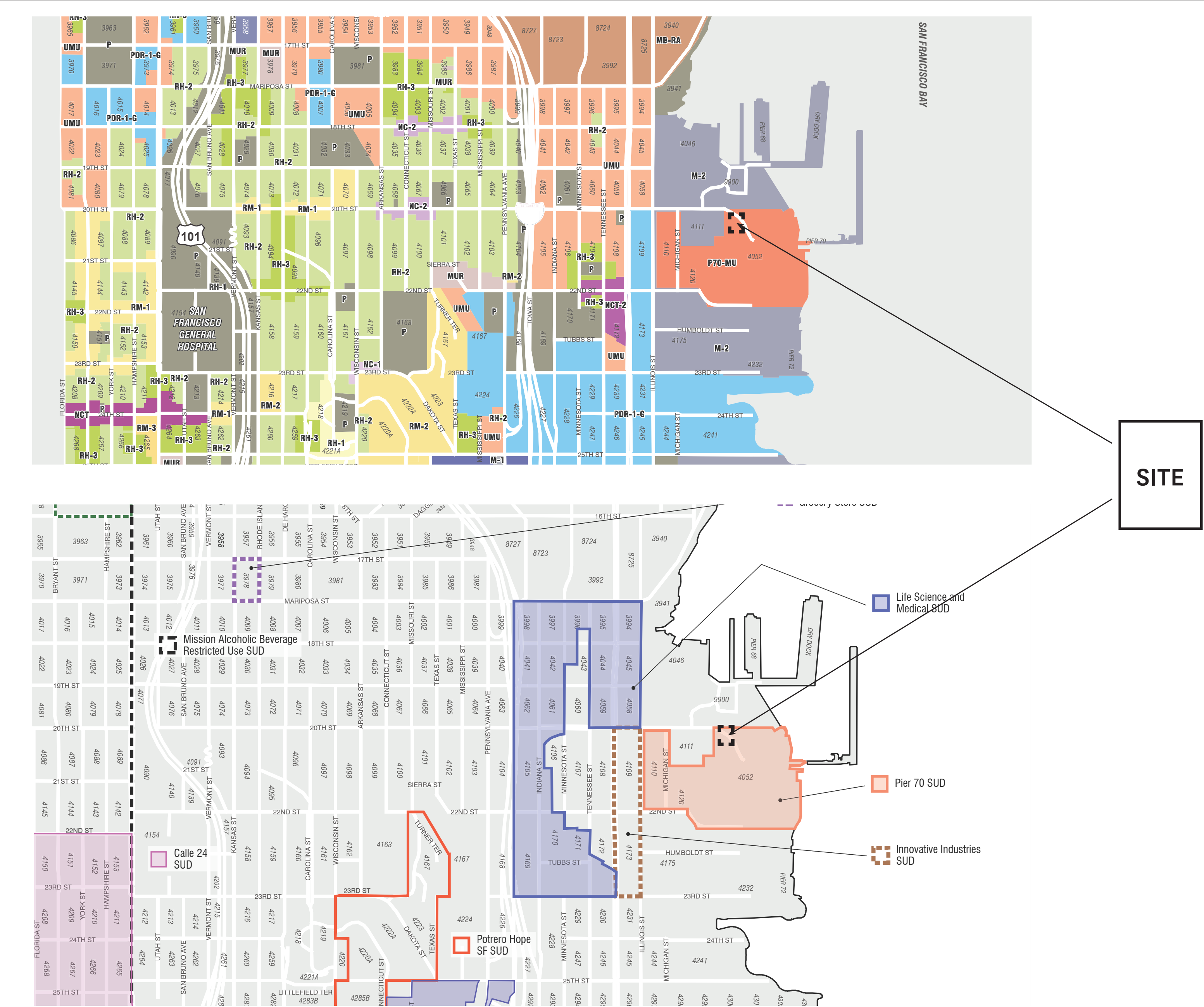
A. EXISTING CONDITIONS



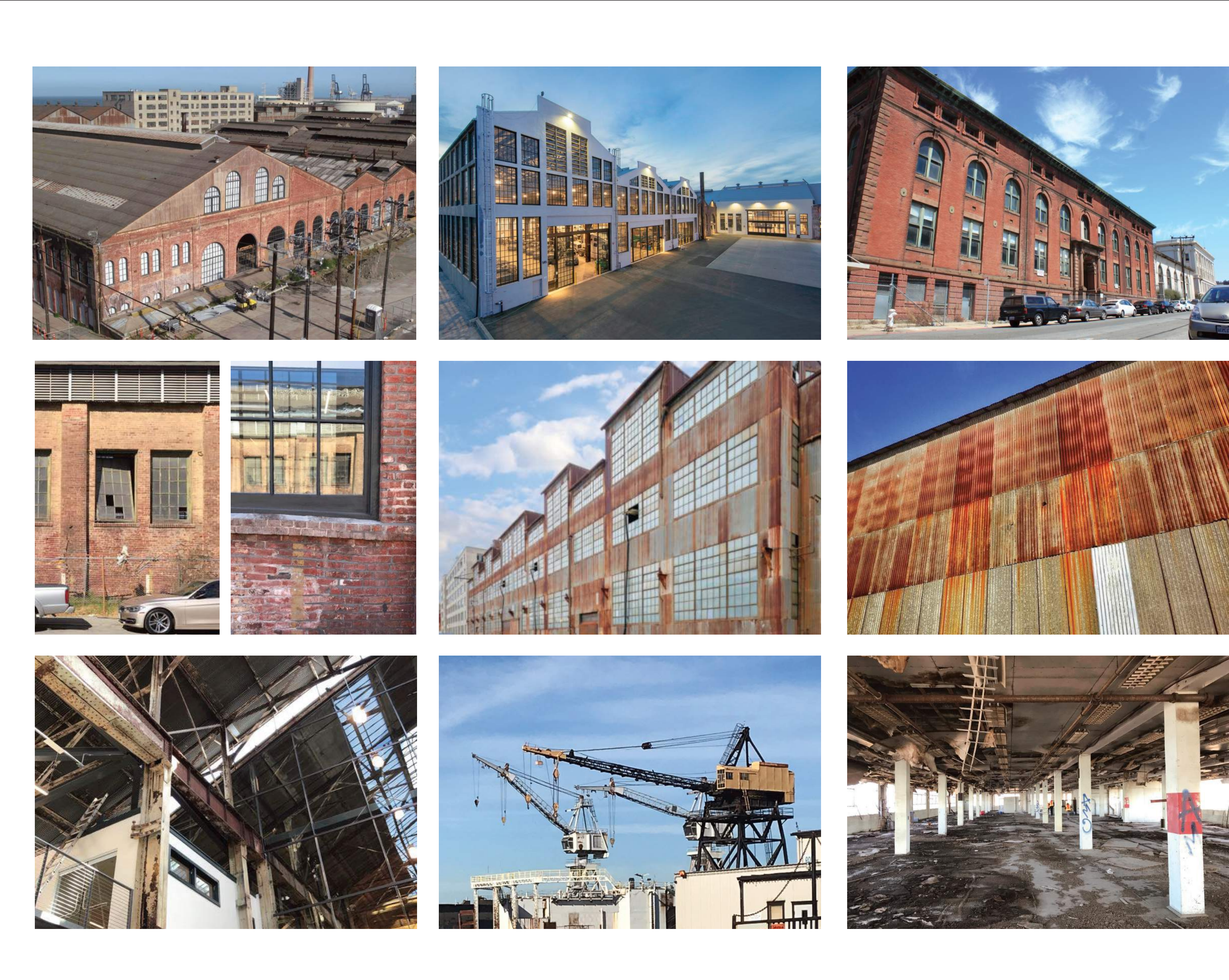
C. PROPOSED DEVELOPMENT



B. ZONING DESIGNATIONS



D. SITE CONTEXT



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STAMP

NOT FOR CONSTRUCTION

REVISION NO. DATE

KEY PLAN - (NTS)

TRUE NORTH PLAN NORTH

PIER 70

Brookfield Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE
PROJECT NUMBER
1830
DATE
JULY 12, 2019
SCALE

DRAWING TITLE
GENERAL INFORMATION

SHEET NUMBER
G-000.3

A. EXISTING CONDITIONS



3RD FLOOR LOOKING NORTH

C. EXISTING CONDITIONS



3RD FLOOR LOOKING SOUTH

B. EXISTING CONDITIONS



3RD FLOOR LOOKING EAST

D. EXISTING CONDITIONS



3RD FLOOR LOOKING WEST

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KEY PLAN - (NTS)

DESIGN SUMMARY

The proposed design of Parcel A is inspired by several particular aspects of Pier 70 and its existing buildings:

- All existing buildings are expressive of their construction. They are a monumental scale of buildings, created of human scale elements, including sheet metal panels, small panes of glass, bricks, board formed concrete. The buildings are also expressive of their structure, which is typically exposed on the interior and reads through the façade.
- The Façade of adjacent Building 113 is composed of regular rhythms of consistent and well-proportioned elements. Regular piers march down the long north façade creating a textured pattern of light and shade.
- The passage of time has added a patina and depth to the existing materials.
- The remnant of Irish Hill and its trees are an inspiring example of the persistence of nature, even in this thoroughly industrial site.
- The Parcel A design is intended to show influences of these aspects without mimicking the existing buildings. The design concept can be summarized by describing its structure, massing, modulation, material and nature.

Structure - The primary structure will be heavy timber composed of glue laminated beams/columns and cross laminated timber floor/roof decks. This material has a distinctive aesthetic appeal and is most optimized in a unique one-way structural logic that results in tight column spacing in one direction (approximately 15' on center) and broad column spacing in the other (approximately 30' on center). The use of wood beams, columns, and structural decks have led us to a façade concept that reveals the wood as an special aspect of the design that should be expressed. Windows are arranged to express the beauty and unique logic of the wood frame, not distracting from it.

Massing

The largest scale articulation of the design implements a “pinwheel” approach conceived as 4 large “masses” rotating around a center. The masses are elevated above a “base” that features more transparency for the lobby, retail/service, and active social uses on the ground floor. The base creates opportunity for entries, future entries, louvers and planters, with consistent human-scaled “ground floor niches” which help distinguish the base from the upper portions of the building

Each mass expresses a long side and a short side to the surrounding streets. The long sides feature piers based on the tight column spacing. The short side’s piers are based on the broad column spacing. The masses are set apart by “gaps” or vertical recesses in the façade that are cues highlighting the entry points. The gaps on the north and south sides are narrow while the gaps on the east and west sides are wider creating roof terraces on the third floor of the building, maximizing daylight penetration to the interior of the large block. The short side of each mass projects occupiable space over the property line, and features occupiable terraces on the top two floors. The terraces create pleasant outdoor space for the tenants, taking advantage of the best views of the neighborhood, bay, and San Francisco’s city center. The northwestern terrace coincides with the “Setback for View” required in the D4D as a reference to the height of adjacent historic Building 113.

Modulation

The scale of the modulation borrows several proportions from Building 113, forming the medium scale articulation for the building. The facades are articulated with horizontal shadow lines, or “ledges,” at one- or two-story intervals similar in proportion to the long sides of Building 113. The ledges extend across the facades as datums that are extensions of the voids created by the corner roof terraces. Ledges wrap into the gaps and reset to

D4D COMPLIANCE TABLE

Title	Reference	Standard	Required	Provided	Compliance Notes
2 Land Use					
2.1 Zoning and Land Use					
Land Use	S2.1.1	Pier 70-MU Accessory Uses limited to 33% floor area Accessory parking limited to 50% floor area		Commercial Office Accessory Parking	See Diagram B/G-003.1
Dwelling Unit Density	S2.1.2	Density not limited by lot area		NA	No proposed Residential.
Publicly Oriented Accessory Retail Uses in Parks & Open Spaces	S2.1.3	Allowed, subject to approval per Pier 70 DDA		N/A	No proposed accessory retail in parks or open spaces.
Off-Street Parking	S2.1.4	Parking structures allowed on C1 & C2 only Permitted as accessory on all others		Complies	Proposed parking is accessory.
Interim Uses	S2.1.5	Permitted in accordance with SUD 249.79		NA	No proposed interim uses.
2.2 Ground Floor uses					
Measuring Frontages	S2.2.1	Linear extent fronting ROW Measured by linear feet for each zone Excludes space for building services		Complies	Acknowledged.
Measuring Corners	S2.2.2	20th, 22nd, Maryland: 75' from the intersection All other: 50' from the intersection		Complies	Acknowledged.
Priority Retail Frontages	S2.2.3	Limited Uses for minimum 50% of shaded area Minimum 25' depth Maximum of 40' of lobby counts toward compliance		Complies	See Diagram B/G-003.1
Retail & Service Frontages	S2.2.4	Limited Uses for minimum 50% of shaded area Minimum 25' depth		Complies	Tenants are not yet identified. However priority retail uses as listed in S2.2.3 will be located at SE corner. See Diagram B/G-003.1
Ground Floor Office Frontage	S2.2.5	Limited on 20th & 22nd Shall not exceed 75% of designated parcels		Complies	Tenants are not yet identified. However, tenant agreements will stipulate maximum 75% of north frontage (20th Street) will be ground floor office use. 25% of frontage will be uses listed in S2.2.4 located in NE corner. See Diagram B/G-003.1
Ground Floor Office Frontages	G2.2.1	Commercial spaces >30' long should make social or common functions visible to activate the street edge		Complies	Tenants are not yet identified. However, tenant agreements will stipulate social or common functions in this area. Part of the north frontage social common area is planned to be a "Bike Lounge" . See Diagram B/G-003.1

other floors on the adjacent mass. Vertical piers between the horizontal ledges march along at regular intervals. Similar to the texture of Building 113’s long, north side, the piers create horizontal bands of texture. Piers also feature 6” deep bevels. Bevels do not align above and below the ledges bringing a sense of playfulness to the façade and creating alternating patterns of light, shade and shadow. The windows between piers extend from a sill height to the underside of the floor or roof deck above. Like Building 113, the vertical windows maximize daylight penetration into the interior and feature occasional operable sashes for natural ventilation. Additional areas of maximized glazing punctuate the facades, identifying interior spaces where, in some cases, floor panels can be removed to create floor-to-floor connections if a single tenant leases more than one floor. While the pier patterns articulate the four pinwheeling masses, the backs of the gaps are intentionally mostly glass as a place for the observer’s eye to rest between patterns and as a means of improving daylight penetration. These areas of maximum glazing will include vertical and horizontal mullions with protruding snap caps that carry a simple pattern that does not distract from the structure inside.

Material

The material is intended to have similar visual interest and depth as the weathered materials visible throughout historic Pier 70.

- The piers will be clad with aluminum that is attached with concealed fasteners. The aluminum will be finished with a highly detailed multi-layered coating that simulates blackened steel. The simulated finish allows the intended character to be present from the onset and be consistent for the life of the project. The dark cladding will stand in contrast to the light warm color of the wood frame inside.
- Ground floor niches will be clad in the same cladding material used on the façade piers.
- Window mullions will be a dark bronze color designed to recede in space and disappear against the interior during the day.
- The areas of spandrel glazing that happen mostly at floor lines will be back-painted glass with a color also designed to disappear against the interior during the day.
- Service areas, terrace planters, louvers, overhead doors and walls between the overhead doors will be a dark bronze color to match the window mullions. They are intended to recede in space yet pair well with the more interesting cladding material used on the bulk of the facades. The mechanical screen on the roof will be the same material but will also be perforated.
- Due to sea level rise requirements, the ground floor of the building is set at an elevation that is higher than adjacent grade for most of the building’s perimeter, creating a plinth that the building stands upon. The plinth will be finished with a board formed concrete material to create an interesting durable surface that is reminiscent of adjacent historic buildings.

Nature

Finally, the proposal will integrate plantings as a living element in the design. Planters will be integrated into the pedestrian experience as part of the ground floor niches. At the terraces, planters will create edges and foreground for the distant views.

ARCHITECTS

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CONSULTANT

Mayor ED 17-02
Priority permit

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NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH
PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE

DRAWING TITLE
ZONING NARRATIVE

SHEET NUMBER

G-001.1

5 Parking and Loading						
5.1 Bicycle parking						
Bicycle Parking Capacity	S5.1.1	<p>Class 1 & 2 provided in accordance with parking minimums per use as indicated in Planning code Minimum 5% of Class 1 for cargo bikes</p> <p>Class 2: Retail Sales and Services Uses: Minimum two spaces. One Class 2 space for every 2,500 sq. ft. of Occupied Floor Area. For uses larger than 50,000 occupied square feet, 10 Class 2 spaces plus one Class 2 space for every additional 10,000 occupied square feet.</p> <p>Office: Minimum two spaces for any Office Use greater than 5,000 square feet of Occupied Floor Area, and one Class 2 space for each additional 50,000 occupied square feet.</p> <p>Class 1: Retail Sales and Services Uses: One Class 1 space for every 7,500 square feet of Occupied Floor Area.</p> <p>Office: One Class 1 space for every 5,000 square feet of Occupied Floor Area.</p>	<div><p>Retail Sales and Services SF (Max. Estimated - tenants are not determined but maximum is accounted for to accommodate appropriate bike parking): 10,317 SF Office SF: 246,167 SF</p><p>Class 2: 10,317 SF/ 2,500 sf= 4 spaces 2 min. for 5,000 sf + (241,167 sf/ 50,000 sf= 5 spaces) = 7 spaces 11 Class 2 spaces total required</p><p>Class 1: 10,317 SF/ 7,500 SF = 2 spaces 246,167 SF/ 5,000 SF = 50 spaces 52 Class 1 spaces total required</p></div>	<p>12 Class 1 Bike Parking Spaces Provided</p> <p>152 Class 2 Bike Parking Spaces Provided</p>	Current design spec = Lift Assist Dero Decker (4 bikes per unit)	
Class 1 Bicycle Parking Location	S5.1.2	Residential: maximum 250' from building entrance Commercial: maximum 100' from building entrance Retail, Arts, Industrial: max. 250' from entrance	Complies		Class 1 parking is located at the ground floor north frontage "Bike Lounge". See Diagram B/G-003.1	
Class 1 Bicycle Parking Signage	S5.1.3	Signage at lobby and any basement access points	Complies		Signs will be located as shown on Diagram B/G-003.1	
Class 2 Bicycle Parking Location	S5.1.4	ROW, setbacks, or open space within 100' of entrance	Complies		Located 100' from entrances as part of the Horizontal Work permitted separately. See sheet G-000.2 for reference.	
Bicycle Parking Design	S5.1.5	Consistent with Planning Code Lift-assist racks can fulfill 100% of Class 1 req. Vertical can fulfill 50% of req.	Complies		Current design spec = Lift Assist Dero Decker (4 bikes per unit) -- Fulfills 100 percent of class 1 parking requirements per D4D	
Bicycle Support	S5.1.6	<p>Consistent with Planning Code One repair stand per building</p> <p>Non-Retail Sales and Services Uses (Office): One shower and six clothes lockers where the Occupied Floor Area exceeds 10,000 square feet but is no greater than 20,000 square feet, Two showers and 12 clothes lockers where the Occupied Floor Area exceeds 20,000 square feet but is no greater than 50,000 square feet, Four showers and 24 clothes lockers are required where the Occupied Floor Area exceeds 50,000 square feet.</p> <p>Retail Sales and Services: One shower and six clothes lockers where the Occupied Floor Area exceeds 25,000 square feet but is no greater than 50,000 square feet Two showers and 12 clothes lockers where the Occupied Floor Area exceeds 50,000 square feet.</p>	<p>Office: >50,000 sf = 4 showers and 24 lockers Retail: 27,265 sf = one shower & 6 lockers Total required = 5 showers & 30 lockers</p>	Complies, 6 showers and 67 lockers		
Bike-Share	S5.1.7	One station recommended near E2	NA		A bike share location is planned on Maryland adjacent to Parcel A. It is included in the Horizontal Work permitted separately. See sheet G-000.2 for reference. Currently Located at 20th St & Maryland Street. Proposed to move to 21st Street and Maryland Street in accordance with required fire aerial access zone stipulated by Port Fire.	
Bicycle Parking Access	G5.1.1	Access to bicycle parking areas should be direct and clearly indicated with signage.	Complies		Class 1 bike parking will be in the "Bike Lounge" visible through the glass from the sidewalk on the north frontage. An interior access ramp will be provided for access to the "Bike Lounge". Bike parking entry will be marked with signage.	
Bike-Share Location	G5.1.2	Locations recommended to avoid obstructions to open spaces.	Complies		Exterior bike parking is provided on the Parcel A side of Maryland by the Horizontal Work permitted separately. See sheet G-000.2 for reference.	
Bicycle Parking Lighting	G5.1.3	Bicycle parking should be sufficiently lit for safety and functionality.	Complies		Interior lighting will be provided in the "Bike Lounge". Lighting for exterior parking will be provided in the Horizontal Work permitted separately. See sheet G-000.2 for reference.	
5.3 On street parking & Passenger Loading						
On-Street Parking Locations	S5.3.1	20th Street & Maryland Street	See Figure 5.31	Complies	Included in the Horizontal Work permitted separately. See sheet G-000.2 for reference.	
ADA Parking Requirements	S5.3.2	1 per 25 spaces, 1 van per 6 spaces (1 minimum)	Reference CBC Chapter 11B for req.	6 spaces provided including 2 van spaces.	See sheet A-100	
Universal Passenger Loading Zones	S5.3.3	Five ADA compliant locations within the Pier 70 site		NA	Included in the Horizontal Work permitted separately.	
Universal Passenger Loading Zones	G5.3.1	Zones should be limited to 5 min stops. Located to provide convenient access to buildings.		NA	Included in the Horizontal Work permitted separately.	
5.4 Off street parking						
Parking Maximums	S5.4.1	Office/commercial: Max parking 1 space per 1,500 SF gross floor area	251,000 SF / 1,500 SF= 167 spaces max.	Complies, 149 spaces provided		
Parking Location	S5.4.2	Parking within residential or commercial buildings may be located either above- or below-grade in accordance with Section 6.13.		Complies (below grade)		
Residential Parking	S5.4.3	Residential parking shall primarily serve residential tenants.		N/A		

ARCHITECTS

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Priority permit

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KEY PLAN - (NTS)

TRUE NORTH

PLAN NORTH

PIER 70

Brookfield Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
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SCALE

DRAWING TITLE
ZONING NARRATIVE

SHEET NUMBER

G-001.2

District Parking Garage	S5.4.4	1 space per ea. 25 off street spaces 1 van per 6 spaces (1 min.)		N/A	
Parking Layout	S5.4.5	Comply with Planning Code section 154	144 sq. ft. (8' x 18') min. for standard & 112.5 sq. ft. (7.5' x 15') min. for compact	Complies	See sheet A-100
Acessible Off-Street Parking	S5.4.6	1 Accessible Space per 25 spaces	149 spaces (provided)/ 25 = 6 Spaces required	Complies, 6 spaces provided	See sheet A-100
5.5 Loading & Services					
Loading Spaces	S5.5.1	Commercial: 0-50,000 GFA Not required 50,001 - 100,000 GFA 1: on-street 100,001 - 250,000 GFA :1 off-street 250,001 - 500,000 GFA: 2 off street 500,001 & above: 3 off street Retail: may be served by loading provided for other predominant uses, other uses must be calculated separately	2 loading spaces	Complies, 2 Spaces provided	See sheet A-101
Loading Space Location in Mid-Block Passages	S5.5.2			N/A	
Street Parking	S5.5.3			N/A	
Loading Space Dimension	S5.5.4	Per table 5.5.2	Min 12' wide x 35' long and 14' vert. clearance	Complies	See sheet A-101
Historic Buildings	S5.5.5			N/A	
Refuse & Recycling	S5.5.6	Provide collection and loading areas for the three separate streams of recycling, composting, and landfill waste. All refuse collection shall be screened from the public ROW.		Complies, provided in loading dock area	See sheet A-101
5.6 Loading & Parking Access					
Prohibited curb cut locations	S5.6.1		No applicable prohibited locations	N/A	
Building Loading Access	S5.6.2	Limited to Louisiana or 21st Street		Complies, provided on Louisiana	
Vehicular Entrance	S5.6.3	All vehicular passenger vehicles shall enter or exit in a forward direction		Complies	
District Parking Garage Entrance	S5.6.4			N/A	
Accessory Parking Access	S5.6.5	Max. one entrance/exit allowed per frontage Max. curb cuts width per Table 5.6.1 Secure motorized door located at the property line. To remain open during peak times for non- residential buildings. Electronic access control required at non-peak times.	1 entrance max per frontage	Complies, one entrance on Louisiana	
Accessory Parking Door	S5.6.6	Access entry points for garages, accessory parking, and off-street loading shall be at least 60' from the corner of an intersection, measured from the property line		Complies	See sheet A-101
Access locations	S5.6.7			Complies	See sheet A-101
Frequency of curb cuts	S5.6.8	Max. one curb cut per parcel is permitted for every 200 lin. ft. of frontage		Complies, Louisiana frontage >200' (259'), 2 curb cuts provided	
Dimension of Curb Cuts	S5.6.9	Per Table 5.6.1	Curb cuts max. dim: Parking garage 2 way: 22' width or 25' incl. both flared sides Double loading 20' width or 23' incl. both flared sides	Complies	Will be coordinated and included in the Horizontal Work permitted separately. See sheet G-000.2 for reference.
Curb Cut Treatment	S5.6.10	Curb cuts shall be designed to prioritize pedestrian movement, with a continuous material treatment extending from the sidewalk or pedestrian path over the vehicular path. Perpendicular curb ramps shall have flared sides. The slope of the flared sides shall be no more than 10 percent to conform to ADA requirements. See Figure 5.6.7. The flat area of the driveway between the driveway ramp and the property line shall be at least eight feet in length with a three percent maximum slope		Complies	Will be coordinated and included in the Horizontal Work permitted separately. See sheet G-000.2 for reference.
Driveway Slope	S5.6.11	minimum of 10 feet in length with a slope equal to half of the difference between the two slopes it transitions.The top transition strip adjacent to the driveway entry transition strip shall be a minimum of eight feet in length with a slope		Complies	See detail 1/ A-302
Transition Strips	S5.6.12	equal to half of the difference between the two slopes it transitions between		Complies	See detail 1/ A-302

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Driveway sightlines	S5.6.13	sight triangles shall be provided at all egress points such that vision within the triangle is not obstructed, per Figure 5.6.5. These triangles shall be 10 feet wide, parallel to the street, and 10 feet wide perpendicular to the street, with a minimum vertical clearance of 14 feet. Street trees shall not be located within driveway sightlines. Driveways crossing sidewalks shall be no wider than necessary for ingress and egress, and shall be arranged, to the extent practical, so as to minimize the width and frequency of curb cuts, to maximize the number and size of onstreet parking spaces available to the public, and to minimize conflicts with pedestrian and transit movements.	Complies	Will be coordinated between this project and the the Horizontal Work permitted separately. See sheet G-000.2 for reference.
Driveway Access	S5.6.14		Complies	Will be coordinated and included in the Horizontal Work permitted separately. See sheet G-000.2 for reference.
Porte Cocheres	S5.6.15		N/A	No porte cocheres are proposed.
Accessory Parking Entrance	G5.6.1		Complies	Parking Entrance is located on Louisiana, separate from primary lobby entrance on Maryland
Shared Egress	G5.6.2		Complies	Both loading and parking entrance are located on Louisiana.
6 Buildings				
6.3 Buildable Zones				
New Construction Zones	S6.3.1	New construction limited to zones shown in Figure 6.3.1	Complies, Parcel A	
Buffer Zones and Easements	S6.3.2	New construction permitted adjacent to historic buildings with minimum separation identified in 6.3.2	Complies	The proposed design is 40'-3" clear from its westernmost facade to Building 113.
6.4 Maximum Building height				
Building Height Maximum	S6.4.1	Compliant with Planning Code 90' max	Complies	Building code limits the height of Type III construction to 85'. Therefore the building is well within the D4D height requirement. See Diagram A/G-003.1.
Maximum Stories	S6.4.2	Residential: 8 stories above grade Commercial: 6 stories above grade Measurement includes mezzanine levels	Complies	The proposed building is 6 stories above grade. See Diagram A/G-003.1.
	S6.4.3	Method of height measurement	Complies	There is less than 5' of grade across the site so so building height maximum is measured from the highest grade.
6.7 Streetwall				
Streetwall	S6.7.1	Minimum 1 story for at least 80% of façade length	Complies	See Diagram A/G-003.2. The design features several Ground Floor niches that integrate several features for D4D ground floor requirement compliance in a rhythmic human scaled fashion that highlights the wood structural grid. They are no greater than 3' deep and vary in width between 9' and 10'. They are lined with a simulated blackened steel finish. They are intended to serve as opportunities for planters, benches, and for future tenants to introduce new doors, louvers, and other accouterments in a way that fits naturally into the design.
Streetwall Exceptions: Variations	S6.7.2	May not exceed 20% of the façade length	Complies	See Diagram A/G-003.2
Corners	S6.7.3	Maximum 3' setback at ground floor	Complies	The proposal does not include any corner setbacks more than 3' deep
Southern Boundary Condition	S6.7.4	Min. 15; setback from Potrero Power Plant	NA	Site is not adjacent to the Potrero Power Plant

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Setbacks	G6.7.1	Streetwall setbacks should relate to the pedestrian scale and expand the public realm. Setback landscape areas should be limited to 2' in width.	Applicant requests a minor exception to this guideline.	A number of planters are proposed at the ground floor. They are between 9' and 10' wide depending on the location. They are integrated into the ground floor niches that do not contain doors. Sheet A-101, A-201 and A-202.
Corner	G6.7.2	Corner controls (S6.7.3) are encouraged to apply to building corners at the intersection of public streets and vehicular mid-block passages.	NA	The proposal does not include any corner setbacks more than 3' deep.
6.8 Building Base and Ground Floor				
Defined Base	S6.8.1	Base 1 story min., up to 3 stories max.	Complies	The proposal features a base that is one or two stories high, distinguished from the floors above by increased glazing, and Ground Floor Niches as described in S6.7.1. See Diagram B/G-003.2. Due to sea level rise requirements, the maximum sill height to top of sill mullion will be as high as 3'-3" above the sidewalk on portions of the north, east, and west frontages. See Diagram C/G-003.2. See sheets A-301 and A-302.
Ground Floor Transparency	S6.8.2	Ground floor façade min. 60% transparent	Complies with % requirement. Applicant requests minor modification on sill height.	
Ground Floor Height	S6.8.3	15' min. measured floor to floor	Complies	
Ground Floor Modulation	S6.8.4	Max 30' between vertical articulations on facades fronting22nd, 20th, Maryland & public parks	Complies	Ground floor niches create vertical articulation at a spacing that does not exceed 30' on center.
Ground Floor Horizontal Element	S6.8.5	Required at ground floors along 22nd, 20th, Maryland & public parks for a min. 20% of linear frontage	Complies	Horizontal elements consist of canopies at building entries and trellises within Ground floor Niches. See Diagram A/G-003.3.
Ground Floor Commercial Office Frontage	S6.8.6	The interior area within 4' from the window between 4' - 8' above the side walk must be min. 75% transparent	Complies	No interior walls are proposed, parallel to the windows within 4' of the windows.
Ground floor Entries	S6.8.7	Frequent entries required based on building length	Complies	See Diagram B/G-003.1.
Ground Floor Storefronts	S6.8.8	Temporary artwork allowed during construction	Complies	No temporary ground floor storefronts are proposed.
Ground Floor Storefronts	G6.8.1	Storefront facades are encouraged to open up to the public realm through the use of large, movable openings	Applicant requests exception.	The owner may introduce large movable openings in tenant and retail spaces in locations where they are likely to be used. For example, if retail/service areas are leased by food/beverage tenants, sliding windows will be installed in their spaces. Because tenants are not yet identified, the facade design remains flexible to accommodate this in the future.
Entry Design	G6.8.2	Entry design should incorporate two or more strategies: change in plane related to primary facade, use of accentuating light/color, projecting element above. change in material or detailing, recessed doors or cased openings	Complies	The main entry on Maryland Street is recessed from the primary facade plane, incorporates a recessed door and a canopy overhead. See Sheets A-101 and 2/A310.2
Commercial Lobbies and Entryways	G6.8.3	Primary entries and lobbies should be visually active through both programming and materials	Complies	Primary entry will be clearly visible from the street, will incorporate active use and will have ample transparency to the exterior. See Detail 2/A310.2. See section S7.7 for signage.
Ground Floor Setbacks Along Irish Hill Passage	G6.3.4	Stoops or building projections facing mid-block passages should be accommodated in setbacks to avoid encroachment	NA	Parcel A has no mid-block passages.
6.9 Façade design				
No Replication of Historic Buildings	S6.9.1	Do not replicate or mimic historic buildings	Complies	The proposal does not mimic historic buildings.
Building Variety	S6.9.2	New buildings must vary from adjacent in at least two ways: massing, materials, glazing pattern,proportion, color, detail, articulation, roofline	Complies	The proposed has different material, massing and roofline from Building 113. It has different integral color and architectural detail than Building 2.

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Facade Articulation	S6.9.3	Materials shall not replicate scale, pattern, and rhythm of adjacent contributing resources. No false sense of historic development.	Complies	The proposed facade does not replicate Building 113 but it reflects some of the proportions and rhythm of the building and its elements. See Diagrams A and B /G-003.6.
Facade Rhythm	S6.9.4	Facades longer than 200' shall use vertical facade articulation at max. 30' intervals. May be achieved through bays, fenestration, articulation, materials. Must be perceptible from the street.	Complies	All facades feature beveled piers at intervals less than 30' apart. See sheets A-201 and A-202.
Facade Depth	S6.9.5	Architectural details must create shadows and texture across the facade; minimum depth of 6".	Complies	Shadow lines are provided across all facades. See elevation sheets A-201, A-202 and A-310.1.
Blank Walls	S6.9.6	Blank Walls, prohibited more than 50' long on Maryland and 20th. Always shall incorporate articulation or artistic treatments	Complies	No blank walls proposed on Maryland or 20th. See sheets A-201 and A-202.
Historic Rhythms & Patterns	G6.9.1	New construction should incorporate contemporary interpretations of historic features: horizontal banding, shifted patterns/glazing, articulated rooflines, repetitive patterns, gridded windows, weathered materials	Complies	The proposal incorporates shifted patterns/glazing, and repetitive patters. See sheets A-201 and A-202.
Material & Color Palette	G6.9.2	Materials and color should draw from the site's historic texture and utilize the recommended material palette provided. Materials that patina or weather are encouraged.	Complies	The proposal features a metal cladding with a custom, multi layered simulated blackened steel finish. The finish has similar depth and weathered appearance to historic materials without mimicry. See sheets A-201 and A-202.
6.10 Projections				
Ground Floor Non-Occupiable Projections	S6.10.1	Fins, louvers, etc may extend 1' into ROW, with min. 7'-6" clearance below Ground floor horizontal projections (awnings, etc.) may extend up to 2' from curb edge with min. 10' clearance	Complies	Awnings at doors and trellises in ground floor niches project into the ROW 2'-6" feet. See details D/G-003.3
Upper Level Non-Occupiable Projections	S6.10.2	Horizontal extend 3' over ROW with a 2.5' max. height Vertical elements may extend 2' max. over ROW Consistent with Planning Code Section 136	Complies	No upper level non-occupiable projections are proposed
Occupiable Projections	S6.10.3	Further limited to max. 60% length of façade and 33% overall building façade Max. 4' projection over property line	Complies	Aggregated occupiable projections are proposed on all four frontages of the building. See Diagram C/G-003.3.
6.11 Roofs				
Mechanical Screening	S6.11.1	Set back 1.2' for ever foot above the max height limit Screen at least as tall as the equipment	Complies	Screening is set back more than 12' from exterior building walls facing public ROWs. See sheets A-301 and A-302
Roofline	S6.11.2	No direct replication of the particular geometries of the rooflines of the historic buildings 12, 21, 113-116	Complies	No direct mimicry of historic rooflines are proposed.
Better Roof Requirements	S6.11.3	Per SF Environment code	Complies	The applicant proposes a PV array on the roof of Parcel A in compliance with Better Roof.
Rooftop Structures	S6.11.4	Common access rooftop amenities	Complies	The construction type prohibits occupiable floors above the 6th floor. There are no private rooftop structures or amenities on the highest roof of Parcel A. It is non-occupiable space dedicated to mechanical and photovoltaics. However, 5 terraces are proposed at lower floor levels for use by building occupants. The western 3rd floor terrace will be a common access terrace.
Rooftop Sustainability Strategies	G6.11.1	Encourage to provide useable open space or carbon reducing strategies on roof	Complies	The applicant proposes a PV array on the roof of Parcel A in compliance with Better Roof.
Railings	G6.11.1	Railings shall be set back to minimize visibility	Complies	No railings are proposed around the perimeter of Parcel A.
6.13 Garage and Service Entry Design				
Parking Garage Treatment	S6.13.1	Parking Garages shall comply with S6.7-6.11 and if over 200' long shall meet S6.18.4	NA	Proposal is not a Parking Garage
Accessory Parking Treatment	S6.13.2	Above ground accessory parking must be wrapped by non-parking uses permitted in Table 2.11	NA	No above ground accessory parking is proposed.
Garage Screens and Facades	G6.13.1	Garage entries should be screened and designed in a manner harmonious with the building's overall composition and materiality	Complies	Garage entry is harmonious with design composition and materiality. See sheet A-201
6.14 Sustainability				
6.15 Adjacency to Cultural Resources				

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Locations & Views	S6.15.1	Preserve sightlines and visual corridors	Complies	View of Building 113 is preserved, looking west on 20th.
Setback and Massing Standards for Building A	S6.15.2	Setback shall be 60 feet (height of Building 113) Min. span at least 50 percent of length of the west façade of Building A minimum of 15 feet from the corner, as measured horizontally, and diagonally at a 45 degree angle from the north and west façades minimum area of 2,000 square feet per floor	Complies	The D4D is not clear about the base point from this measurement. The owner conducted a survey and found that Building 113's gable peak is 60' when measured from NW corner of Parcel A. Therefore, the NW corner of Parcel A will be the base point for this historic building reference. This is a different base point than used in S6.4.1, but it more accurately meets the intent of S6.15.2. See Diagram C/G-003.1.
Height References of Historic Buildings	S6.15.3	West: 60 feet height (Building 113) North: 35 feet base (Building 113) North: 60 feet height (Building 113)	Complies	The D4D is not clear about the base point from this measurement. The owner conducted a survey and found that Building 113's base and gable peak are 35' and 60' respectively when measured from NW corner of Parcel A. Therefore, the NW corner of Parcel A will be the base point for this historic building reference. This is a different base point than used in S6.4.1, but it more accurately meets the intent of S6.15.3. See Diagram D/G-003.1.
Dimensional Quality	S6.15.4	Height reference must have a dimensional quality	Complies	See Diagram D/G-003.1.
Related Treatment to Adjacent Resources	S6.15.5	Incorporate elements that relate to adjacent resources The following materials shall be prohibited on the north and west façades of parcel A: Bamboo wood; Wood resin panels or high-density engineered wood panels; Smooth, flat glass curtain wall; Coarse-sand finished stucco; Highly reflective glazing and materials.	NA	Not required on Parcel A
Limited Façade Materials	S6.15.6		Complies	No prohibited materials are proposed.
Prohibited Façade Materials	S6.15.7	The following materials are prohibited on all façades adjacent to cultural resources: Vinyl planks and siding; Non-commercial and non-industrial façade materials, such as vinyl, artificial stone, and fiberglass.	Complies	No prohibited materials are proposed.
Public Garages at Irish Hill	G6.15.1	Applies to C1 & C2	NA	Not required on Parcel A
Corner Treatment at Irish Hill Passage	G6.15.2	Applies to HDY3 & HDY 1/2	NA	Not required on Parcel A
Materiality	G6.15.3	Applies to D & E1	NA	Not required on Parcel A
6.16 Bird Safe controls		N/A		
6.17 Mid block passage controls		N/A		
6.18 Long Facades in Key Locations				
Key Façades 200-350' in Length	S6.18.1	Primary: two massing/modulation and one materiality Secondary: One massing/modulation and one materiality Four total credits required	Complies	See Diagrams on G-003.4 and G-003.5
Key Facades 350' or More in Length	S6.18.2	Primary: two massing/modulation and one materiality Secondary: One massing/modulation and one materiality Six total credits required	NA	Not required on Parcel A
Long Facades at Southern Parcels	S6.18.3	Compliance not required if built to lot line Compliance required if 15' setback Required on F/G if no mid-block passage	NA	Not required on Parcel A
Parking Garages 200' or More in Length	S6.18.4	Must meet minimum 4 credits	NA	Proposal is not a Parking Garage
Calculating Credits	S6.18.5	Each strategy equals one credit	Complies	See Diagrams on G-003.4 and G-003.5
Façade Design Submittal	S6.18.6	Requirements checklist required with submittal	Complies	See Diagrams on G-003.4 and G-003.5
Massing: Qualifying Strategies	S6.18.7	Base/Upper Level Setbacks Building Over Mid-Block Passages External Courtyards	Complies	See Diagrams on G-003.4 and G-003.5
Modulation: Qaulifying Strategies	S6.18.8	Multiple systems, volumetric articulation, roofline	Complies	See Diagrams on G-003.4 and G-003.5
Materiality: Qualifying Strategies	S6.18.9	Preferred materials, treatment, facae depth, shading	Complies	See Diagrams on G-003.4 and G-003.5
Materiality: Scale	G6.13.1	Panelized systems should be scaled to relate to the human scale, and expanses of large panels should be avoided in favor of finer grain materials with articulated seams/reveals	Complies	Panelized systems are at human scale. See sheets A-201 and A-202
Material Treatment	G6.13.2	If treated glass, composites, or plastics are used, a minimum of 20% of the surface behind the treated material should be revealed through perforation or other methods.	Complies	Treated Glass, Composites and plastics are not proposed.

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Creative Design Strategy	S6.18.10	Creative design limited to one credit per façade	Complies	Manipulation of scale, craft and facade articulation. the shifting and alternating bevel locations on the facade piers create visual interest when viewed foreshortened from the sidewalk. See Diagram B/G-003.6.
7 Lighting, Signage & Art				
7.4 Building Lighting				Lighting design is in development and will be presented as part of the continued development exercise. Lighting information shown in this document is conceptual. The proposed building is shell and core only. The tenant(s) of the building are unknown at this time and will submit propose lighting under separate permits. Shell and core spaces will integrate smart and energy efficient lighting strategies. No blinking or flashing lights are proposed.
Energy Consumption	S7.4.1	Smart lighting, automated controls, high efficiency (LED)	Complies	
Prohibited Lighting	S7.4.2	Blinking or flashing lighting prohibited	Complies	
Building Entrances and Ground Level	S7.4.3	Lighting at entrances must be provided for security	Complies	See sections on 2/A-310.2, and 3/A-310.3.
Accent Lighting	G7.4.1	Encouraged at focal points, art installations, building facades, and historic assets. Accent lighting should incorporate opportunities for art and technology	Complies	Light fixtures will accent the main entries, terraces, and structure.
Energy Efficiency	G7.4.2	Accent lighting is encouraged to be energy efficient	Complies	Light fixtures will use LED or other energy efficient lamp types. Lighting will be designed to provide security at entries/exits, and highlight landscaping and building structure. The intent is to conceal light fixtures so only the light itself is visible. This concept will prevent glare or illumination on adjacent properties. See sections on A-310.2 and A310.3.
Glare Reduction	G7.4.3	Lighting should not illuminate or produce glare on adjacent properties	Complies	
Building 15 Structural Frame	G7.4.4	Building 15 lighting should be subtle and used to display key features	NA	
7.7 Building signage				
Signage placement	S7.7.2	The maximum height of a sign affixed to a building shall be the eave line of the building to which it is affixed	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Historic signage	S7.7.3	Signage on, near, or for historic buildings shall be minimal	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Signage design	S7.7.4	Signage shall be contemporary yet compatible with the industrial character of the Pier 70 Area.	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Identifying signs	S7.7.5	One per storefront	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Wall signs	S7.7.6	50sf, or 1 sf for each linear foot Cannot cover more than 75% of wall surface 15' max. height	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.

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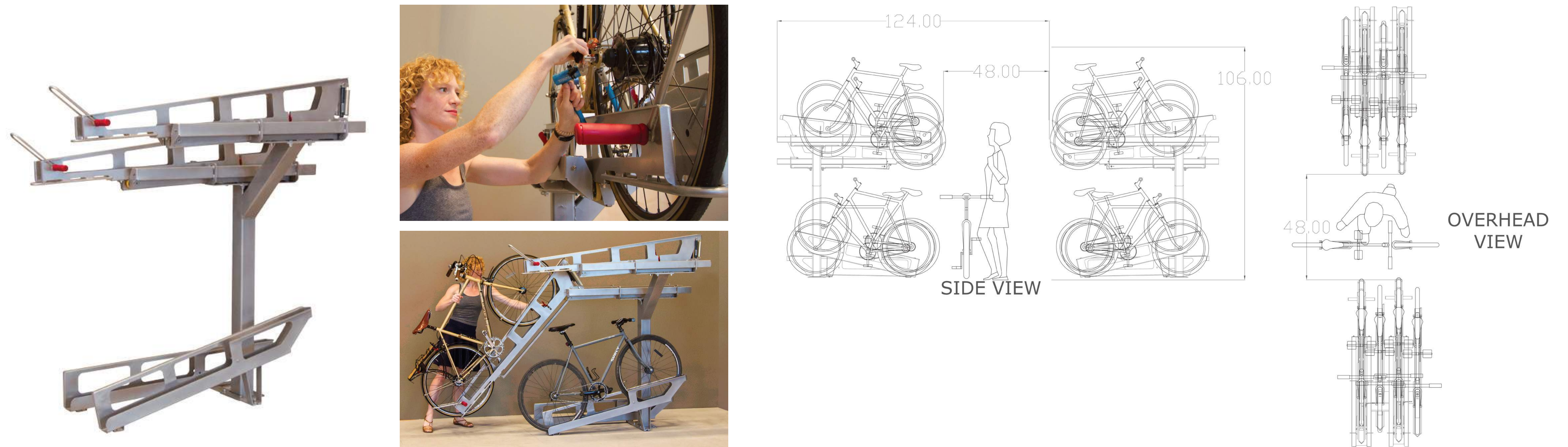
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Window signs	S7.7.7	Opaque windows signs 30% max. of storefront	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Awning signs	S7.7.8	Not to exceed 20 SF	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Signs attached to buildings	S7.7.9	Not to extend above roofline Non- or indirectly illuminated	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Free standing signs	S7.7.10	Max. 40'	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Projecting signs	S7.7.11	Min. 8' clearance from grade Max. 3' projection from building facade	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Preferred Signage Types	G7.7.1	Preferred sign types include small blade signs, split-flap displays, window signs, projections, wall murals, and wall signs	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
Projecting Signage	G7.7.2	Projecting and three-dimensional signs are encouraged to relate to pedestrian scale and enrich public realm	Applicant requests deferment of this requirement	The proposed building is shell and core only. The tenant(s) of the building are unknown at this time. Therefore tenant preferences for exterior signage are unknown.
7.8 Public art				

CLASS A BICYCLE PARKING - LIFT ASSIST DERO DECKER (4 BIKES PER UNIT)



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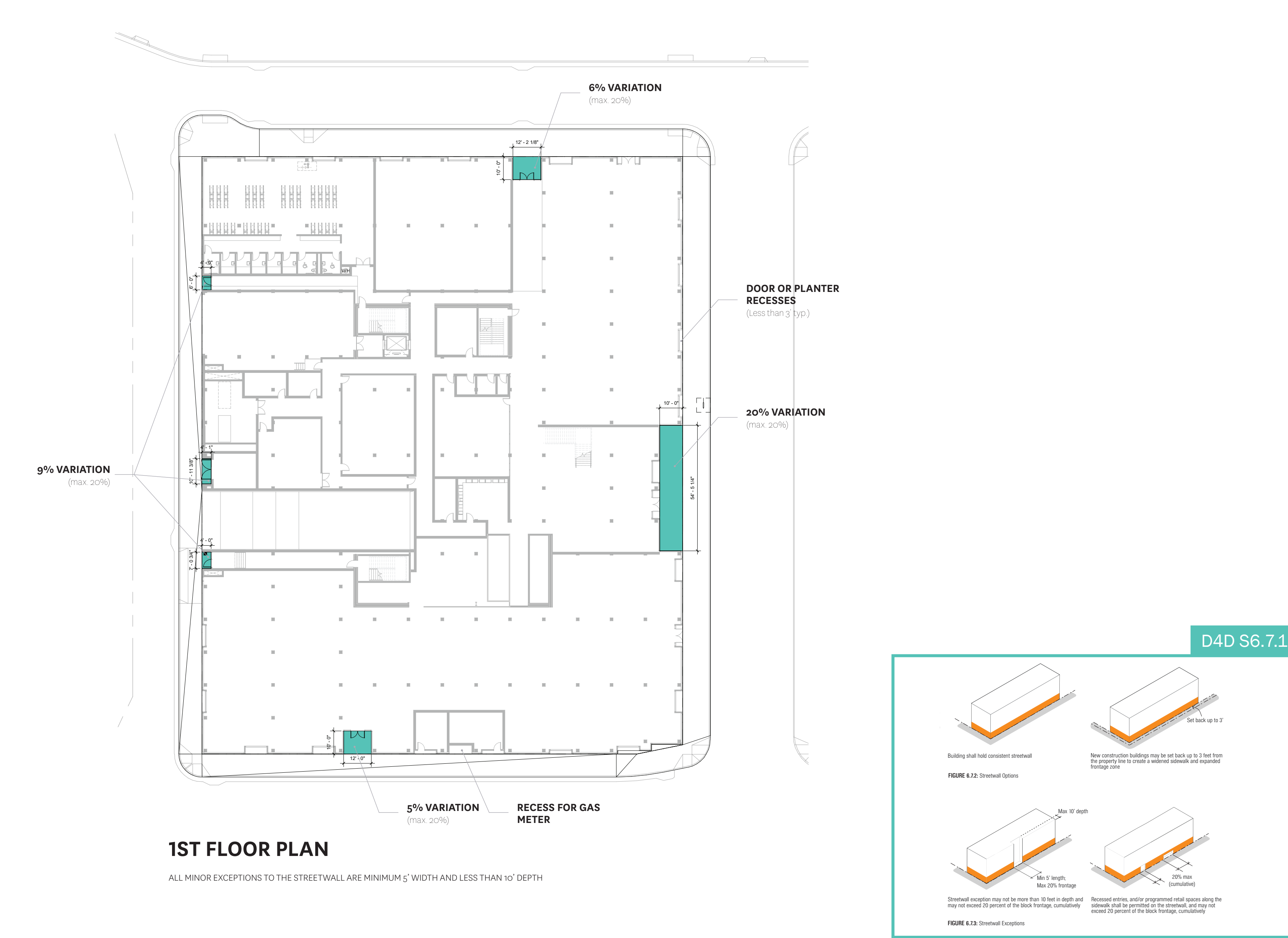
G-001.9

PROJECT INFORMATION AND CODE ANALYSIS																																																
PROJECT INFORMATION	SAN FRANCISCO FIRE CODE NOTES	BUILDING HEIGHTS & AREAS (CHAPTER 5)	FIRE AND SMOKE PROTECTION (CHAPTER 7)	FIRE PROTECTIONS SYSTEMS (CHAPTER 9)																																												
<div>SITE ADDRESS: 88 MARYLAND ST SAN FRANCISCO, CA 94124</div> <div>PROPERTY ID: APN 4111-009</div> <div>BLOCK NO.: Parcel A</div> <div>STATE ID: X</div> <div>MAP: X</div> <div>YEAR BUILT: NA</div> <div>LEGAL DESCRIPTION</div> <div>REFER TO "TOPOGRAPHIC SURVEY" BY XXX DATED XXX</div> <div>PROJECT DESCRIPTION</div> <div>PARCEL A INCLUDES THE CONSTRUCTION AND DEVLOPMENT OF A SIX-STORY, GROUND UP, SPECULATIVE CLASS A OFFICE BUILDING CONSISTING OF ROUGHLY 290,000 GROSS SQUARE FEET WITH 1 LEVEL OF SUBTERRANEAN PARKING. LIMITED BUILDING AMENITY SPACES WILL BE INCLUDED AS A PART OF THE CORE AND SHELL CONSTRUCTION.</div> <div>GOVERNING CODES</div> <div>2010 PORT OF SAN FRANCISCO BUILDING CODE 2010 PORT OF SAN FRANCISCO ELECTRICAL CODE 2010 PORT OF SAN FRANCISCO MECHANICAL CODE 2010 PORT OF SAN FRANCISCO PLUMBING CODE</div> <div>2016 CALIFORNIA BUILDING CODE 2016 CALIFORNIA ELECTRICAL CODE 2016 CALIFORNIA MECHANICAL CODE 2016 CALIFORNIA PLUMBING CODE 2016 CALIFORNIA ENERGY CODE 2016 CALIFORNIA GREEN BUILDING CODE</div> <div>2016 SAN FRANCISCO BUILDING CODE AMENDMENTS 2016 SAN FRANCISCO ELECTRICAL CODE AMENDMENTS 2016 SAN FRANCISCO MECHANICAL CODE AMENDMENTS 2016 SAN FRANCISCO PLUMBING CODE AMENDMENTS 2016 SAN FRANCISCO ENERGY CODE AMENDMENTS 2016 SAN FRANCISCO GREEN BUILDING CODE AMENDMENTS 2016 SAN FRANCISCO EXISTING BUILDING CODE AMENDMENTS</div>		<div>TABLE 504.3</div> <div>TYPE IIIA</div> <div>B-S S1-S</div> <div>85 85</div> <div>ALLOWABLE STORIES 6 5</div> <div>ALLOWABLE AREA (At) 85,500 117,000</div> <div>FRONTAGE BONUS (EQUATION 5-5)</div> <div>If=[F/P-.25]W/30</div> <div>.75=[(936/936)-.25]30/30</div> <div>AREA BONUSSES (EQUATION 5-2)</div> <div>Aa = [At+(NS x If)] x Sa</div> <div>320,625 = [85,500+(28,500 x .75)] x 3</div> <div>TOTAL ALLOWABLE HEIGHTS & AREAS AFTER BONUSES</div> <div>TOTAL ALLOWABLE HEIGHT 85 85</div> <div>TOTAL ALLOWABLE STORIES 6 5</div> <div>TOTAL ALLOWABLE AREA 320,625 117,000</div> <div>MIXED USE AND OCCUPANCY</div> <div>SEPARATED OCCUPANCY PER 2016 CBC 508.4</div> <div>PROPOSED HEIGHTS & AREAS</div> <div>PROPOSED HEIGHT 90 FT (PENDING AB-005 APPROVAL)</div> <div>PROPOSED STORIES 6</div> <div>PROPOSED AREA 353,459 SQ.FT (GSF)</div> <div>MIXED USE AND OCCUPANCY</div> <div>CBC 508.1</div>	<div>CONSTRUCTION TYPE IIIB, FULLY SPRINKLERED</div> <div>MAXIMUM AREA OF EXTERIOR WALL OPENINGS</div> <div>2016 CBC TABLE 705.8</div> <div>FIRE SEPARATION DISTANCE OF 30 FT OR MORE, EXTERIOR WALLS ARE NOT REQUIRED TO BE RATED AND MAY HAVE AN UNLIMITED AMOUNT OF UNPROTECTED OPENINGS</div> <div>OTHER FIRE A SMOKE PROTECITON ASSEMBLIES</div> <div>REFERENCE SECTION AS INDICATED</div> <table> <tr> <th>BUILDING ELEMENT</th><th>(SECT)</th><th>FIRE RESISTIVE RATING REQ'D</th><th>FIRE RESISTIVE RATING PROVIDED</th></tr> <tr> <td>SHAFT ENCLOSURE</td><td>(713.4)</td><td>1HR (< 4 STRY) 2HR (=/> 4 STRY)</td><td>2 2</td></tr> <tr> <td>VERT. EXIT ENCLOSURES (CBC 1023.2)</td><td></td><td>1HR (< 4 STRY) 2HR (=/> 4 STRY)</td><td>2 2</td></tr> <tr> <td>ATRIUM</td><td>(CBC 404.6)</td><td>NA</td><td>NA</td></tr> <tr> <td>CORRIDORS</td><td>(CBC TABLE 1020.1)</td><td>0</td><td>0</td></tr> <tr> <td>ELEVATOR MACHINE RMS (CBC 3005.2) (CBC 3005,1 EXCEPTION 1)</td><td></td><td>2 1</td><td>2 1</td></tr> <tr> <td>INCIDENTAL USES</td><td>(CBC 509)</td><td>REF. CBC TABLE 509</td><td></td></tr> <tr> <td>CONTROL AREAS</td><td>(CBC 414.2.4)</td><td>NA</td><td>NA</td></tr> <tr> <td>SEPARATED OCCUPANCIES GROUP B, M, S-1 GROUP A-2 OR A-3 AND B, M, OR S-1</td><td></td><td>0 1</td><td>0 1</td></tr> <tr> <td>FIRE AREAS</td><td>(CBC 707.3.10)</td><td>2</td><td>NA</td></tr> <tr> <td>ELEVATOR LOBBY</td><td>(CBC 3006)</td><td>0</td><td>0</td></tr> </table>	BUILDING ELEMENT	(SECT)	FIRE RESISTIVE RATING REQ'D	FIRE RESISTIVE RATING PROVIDED	SHAFT ENCLOSURE	(713.4)	1HR (< 4 STRY) 2HR (=/> 4 STRY)	2 2	VERT. EXIT ENCLOSURES (CBC 1023.2)		1HR (< 4 STRY) 2HR (=/> 4 STRY)	2 2	ATRIUM	(CBC 404.6)	NA	NA	CORRIDORS	(CBC TABLE 1020.1)	0	0	ELEVATOR MACHINE RMS (CBC 3005.2) (CBC 3005,1 EXCEPTION 1)		2 1	2 1	INCIDENTAL USES	(CBC 509)	REF. CBC TABLE 509		CONTROL AREAS	(CBC 414.2.4)	NA	NA	SEPARATED OCCUPANCIES GROUP B, M, S-1 GROUP A-2 OR A-3 AND B, M, OR S-1		0 1	0 1	FIRE AREAS	(CBC 707.3.10)	2	NA	ELEVATOR LOBBY	(CBC 3006)	0	0	<div>AUTOMATIC SPRINKLER SYSTEMS</div> <div>FULLY SPRINKLERED MEETING NFPA 13</div> <div>FIRE ALARM AND PROTECTION SYSTEMS</div> <div>CBC 907</div> <div>REFER TO FA SERIES DRAWINGS FOR FIRE ALARM AND SMOKE ALARM DESIGN</div> <div>PORTABLE FIRE EXTINGUISHERS</div> <div>SECTION CBC 906</div> <div>REFER TO G-002 LIFE SAFETY PLANS FOR FIRE EXTINGUISHER LOCATIONS</div> <div>MEANS OF EGRESS (CHAPTER 10)</div> <div>OCCUPANT LOAD AND EXIT ACCESS</div> <div>REFER TO G-002 LIFE SAFETY PLANS</div> <div>AREA OF REFUGE</div> <div>NOT PROVIDED</div> <div>NOT REQUIRED PER 1007.3, EXCEPTION 2 IN BUILDINGS EQUIPPED THROUGHOUT WITH AN AUTOMATIC FIRE EXTINGUISHER SYSTEM INSTALLED IN ACCORDANCE WITH SECTION 903.3.1.1 OR 903.3.1.2.</div> <div>MEANS OF EGRESS SIZING</div> <div>SECTION 1005.3, EXCEPTION 2</div> <div>STAIRWAYS 0.2 INCH PER OCCUPANT (0.15 INCH W/ VOICE ALARM)</div> <div>OTHER COMPONENTS 0.15 INCH PER OCCUPANT</div>
BUILDING ELEMENT	(SECT)	FIRE RESISTIVE RATING REQ'D	FIRE RESISTIVE RATING PROVIDED																																													
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BUILDING CODE EQUIVALENCIES (SF AB-005)	USE AND OCCUPANCY (CHAPTER 3)	FIRE RESISTANCE (CHAPTER 6)	MEANS OF EGRESS (CHAPTER 10)																																													
REFER TO SHEET G-003 FOR APPROVED LOCAL EQUIVALENCIES (CITY OF SAN FRANCISCO FORM AB-005.)	<div>A-3 ASSEMBLY</div> <div>CONFERENCE ROOMS AND TERRACES >750 SQ. FT.</div> <div>B OFFICE SPACE, CONFERENCE ROOMS AND TERRACES <750 SQ. FT.</div> <div>M RETAIL</div> <div>S1 STORAGE - MODERATE HAZARD STORAGE - UTILITY AND STORAGE ROOMS</div> <div>S-2 STORAGE - PARKING GARAGE</div>	<div>CONSTRUCTION TYPE IIIB, FULLY SPRINKLERED</div> <div>FIRE RESISTIVE REQUIREMENTS</div> <div>2016 CBC TABLE 601</div> <table> <tr> <th>BUILDING ELEMENT</th><th>FIRE RESISTIVE RATING REQUIRED</th><th>FIRE RESISTIVE RATING PROVIDED</th></tr> <tr> <td>PRIMARY STRUCTURAL FRAME</td><td>1</td><td>1</td></tr> <tr> <td>BEARING WALLS</td><td></td><td></td></tr> <tr> <td>EXTERIOR</td><td>2</td><td>2</td></tr> <tr> <td>INTERIOR</td><td>1</td><td>1</td></tr> <tr> <td>EXTERIOR NONBEARING WALLS AND PARTITIONS</td><td>0</td><td>0</td></tr> <tr> <td>INTERIOR NONBEARING WALLS AND PARTITIONS</td><td>0</td><td>0</td></tr> <tr> <td>FLOOR CONSTRUCTION</td><td>1</td><td>1</td></tr> <tr> <td>ROOF CONSTRUCTION</td><td>1</td><td>1</td></tr> </table> <div>EXTERIOR WALL FIRE RESISTENCE</div> <div>BASED ON SEPARATION DISTANCE FOR CONSTRUCTION TYPE IIIB</div> <div>TABLE 602</div> <table> <tr> <th>WALL LOCATION</th><th>DISTANCE TO PROPERTY LINE OR CL OF ROW</th><th>FIRE RESISTIVE RATING PROVIDED</th></tr> <tr> <td>NORTH</td><td>60</td><td>0</td></tr> <tr> <td>EAST</td><td>60</td><td>0</td></tr> <tr> <td>SOUTH</td><td>49</td><td>0</td></tr> </table>	BUILDING ELEMENT	FIRE RESISTIVE RATING REQUIRED	FIRE RESISTIVE RATING PROVIDED	PRIMARY STRUCTURAL FRAME	1	1	BEARING WALLS			EXTERIOR	2	2	INTERIOR	1	1	EXTERIOR NONBEARING WALLS AND PARTITIONS	0	0	INTERIOR NONBEARING WALLS AND PARTITIONS	0	0	FLOOR CONSTRUCTION	1	1	ROOF CONSTRUCTION	1	1	WALL LOCATION	DISTANCE TO PROPERTY LINE OR CL OF ROW	FIRE RESISTIVE RATING PROVIDED	NORTH	60	0	EAST	60	0	SOUTH	49	0	<div>REFER TO G-002 LIFE SAFETY PLANS</div>						
BUILDING ELEMENT	FIRE RESISTIVE RATING REQUIRED	FIRE RESISTIVE RATING PROVIDED																																														
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DEFERRED SUBMITTALS	SPECIAL REQUIREMENTS (CHAPTER 4)	MEANS OF EGRESS (CHAPTER 10)																																														
<div>SITE PERMIT ADDENDUM SCHEDULE:</div> <div>ADDENDUM #1: FOUNDATIONS</div> <div>ADDENDUM #2: SUPERSTRUCTURE</div> <div>ADDENDUM #3: ARCH / MEP</div> <div>ADDENDUM #4: FACADE</div> <div>ADDENDUM #5: SPRINKLERS</div> <div>ADDENDUM #6: FIRE ALARM</div> <div>OTHER TBD (PILES, SOIL IMPROVEMENTS)</div>		<div>REFER TO G-002 LIFE SAFETY PLANS</div>																																														

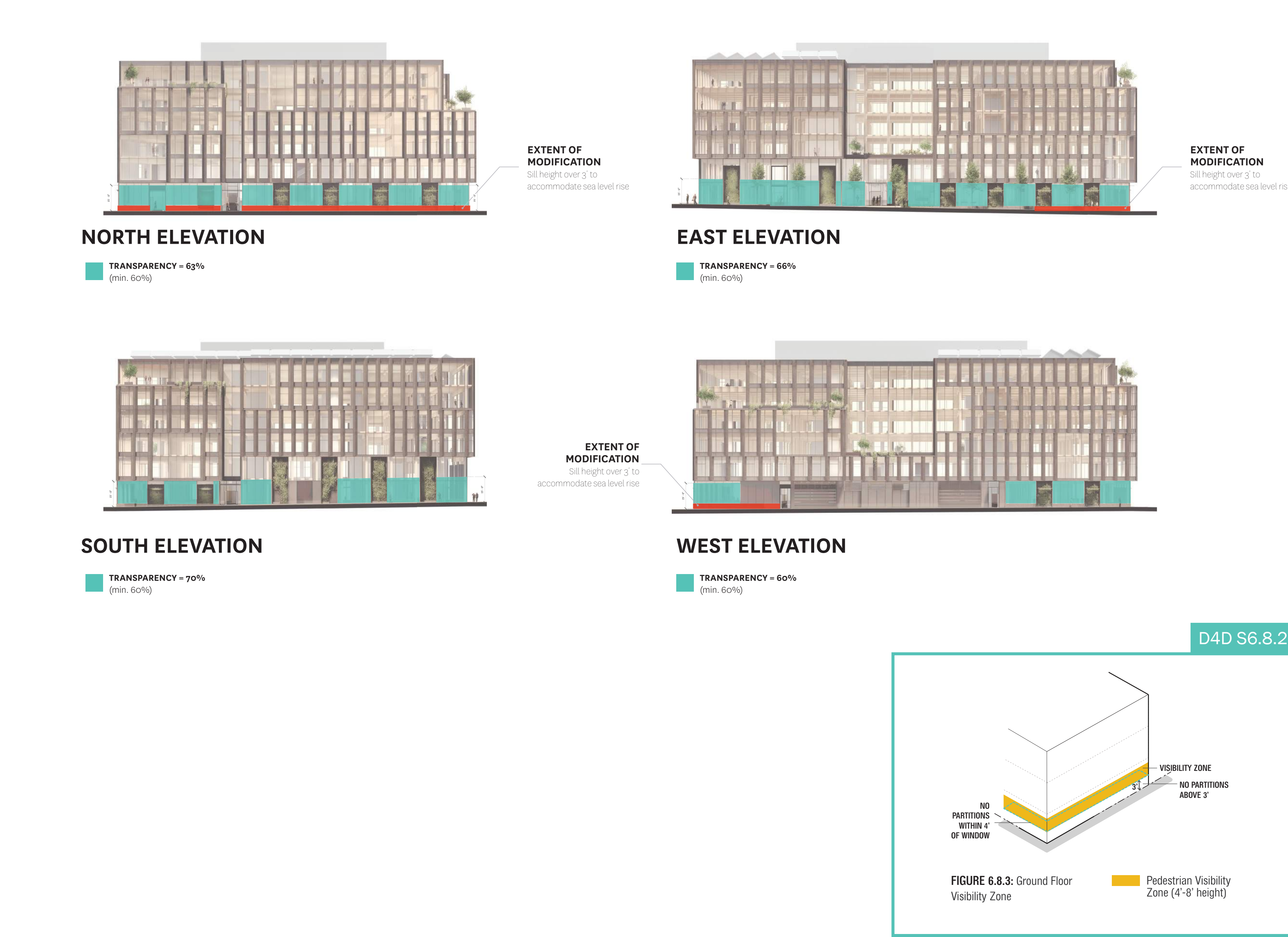
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PLUMBING FIXTURE QUANTITY CALCULATIONS ¹																			
FLOOR	GROUP 'A2' OCC. LOAD FACTOR = 30			GROUP 'B' (Office) OCC. LOAD FACTOR = 200			TOTAL OCCUPANTS	GROUP 'A' REQ'D FIXTURES (FUTURE TI)		GROUP 'B' REQ'D FIXTURES		TOTAL REQUIRED FIXTURES (INCL. FUTURE TI)		TOTAL PROVIDED FIXTURES (NOT INCL. FUTURE TI)		DRINKING FOUNTAINS REQ'D/ PROVIDED		SERVICE SINK REQ'D/ PROVIDED	
	AREA (SF)	OCCUPANTS		AREA (SF)	OCCUPANTS			M	F	M	F	M ²	F	M	F	A (FUT.)	B	A (FUT)	B
		M	F		M	F													
1				9520	24	24	48			1 WC / 1 UR 1 LAV	2 WC 1 LAV	1 WC / 1 UR 2 WC 1 LAV	2 WC 2 LAV	2 WC 2 LAV	1	1	1	1	
2				48,365	121	121	242			3 WC / 2 UR 2LAVS	8 WC 3 LAVS	3 WC / 2 UR 2LAVS	8 WC 3 LAVS	5 WC 3LAVS	8 WC 4 LAVS	1	1	1	1
3	1,832	31	31	46,244	116	116	294	1 WC / 1 UR 1 LAV	2 WC 1 LAV	3 WC / 2 UR 3 LAVS	8 WC 3 LAVS	4WC / 3UR 3 LAVS	10 WC 4 LAVS	5 WC 3LAVS	8 WC 4 LAVS	1	1	1	1
4				47,173	118	118	236			3 WC / 2 UR 2LAVS	8 WC 3 LAVS	3 WC / 2 UR 2LAVS	8 WC 3 LAVS	5 WC 3LAVS	8 WC 4 LAVS	1	1	1	1
5	2,847	48	48	45,187	113	113	322	1 WC / 1 UR 1 LAV	2 WC 1 LAV	3 WC / 2 UR 2LAVS	8 WC 3 LAVS	4WC / 3UR 3 LAVS	10 WC 4 LAVS	5 WC 3LAVS	8 WC 4 LAVS	1	1	1	1
6	1,267	22	22	44,098	111	111	266	1 WC / 1 UR 1 LAV	2 WC 1 LAV	3 WC / 2 UR 2LAVS	8 WC 3 LAVS	4WC / 3UR 3 LAVS	10 WC 4 LAVS	5 WC 3LAVS	8 WC 4 LAVS	1	1	1	1
NOTES																			
1 PER 2016 CPC TABLE 422.1 & TABLE A																			
2 For each urinal added in excess of the minimum required, one water closet shall be permitted to be deducted. The number of water closets shall not be reduced to less than two-thirds of the minimum requirement.																			
3 The total number of required water closets for females shall be not less than the total number of required water closets and urinals for males.																			

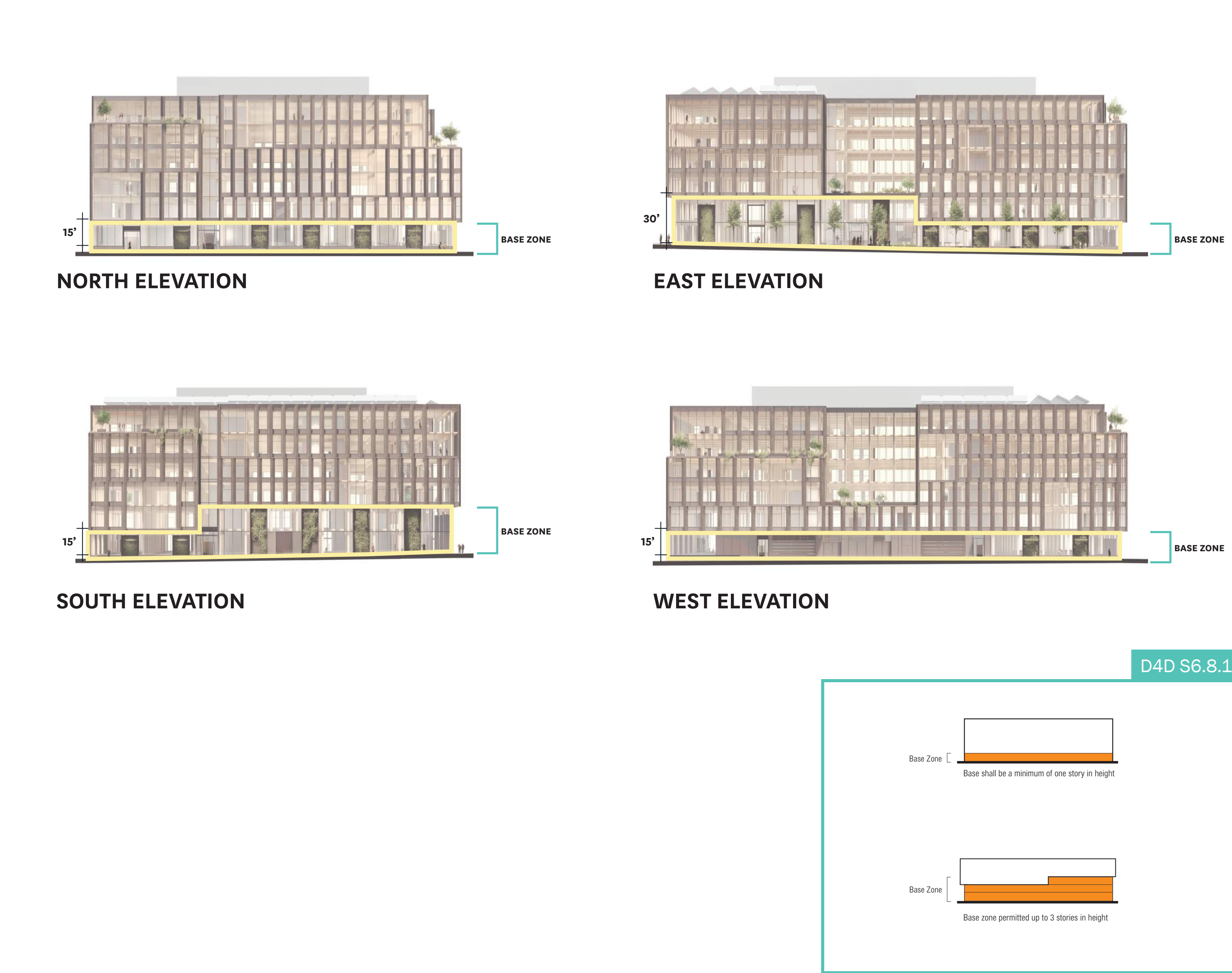
A. STREETWALL



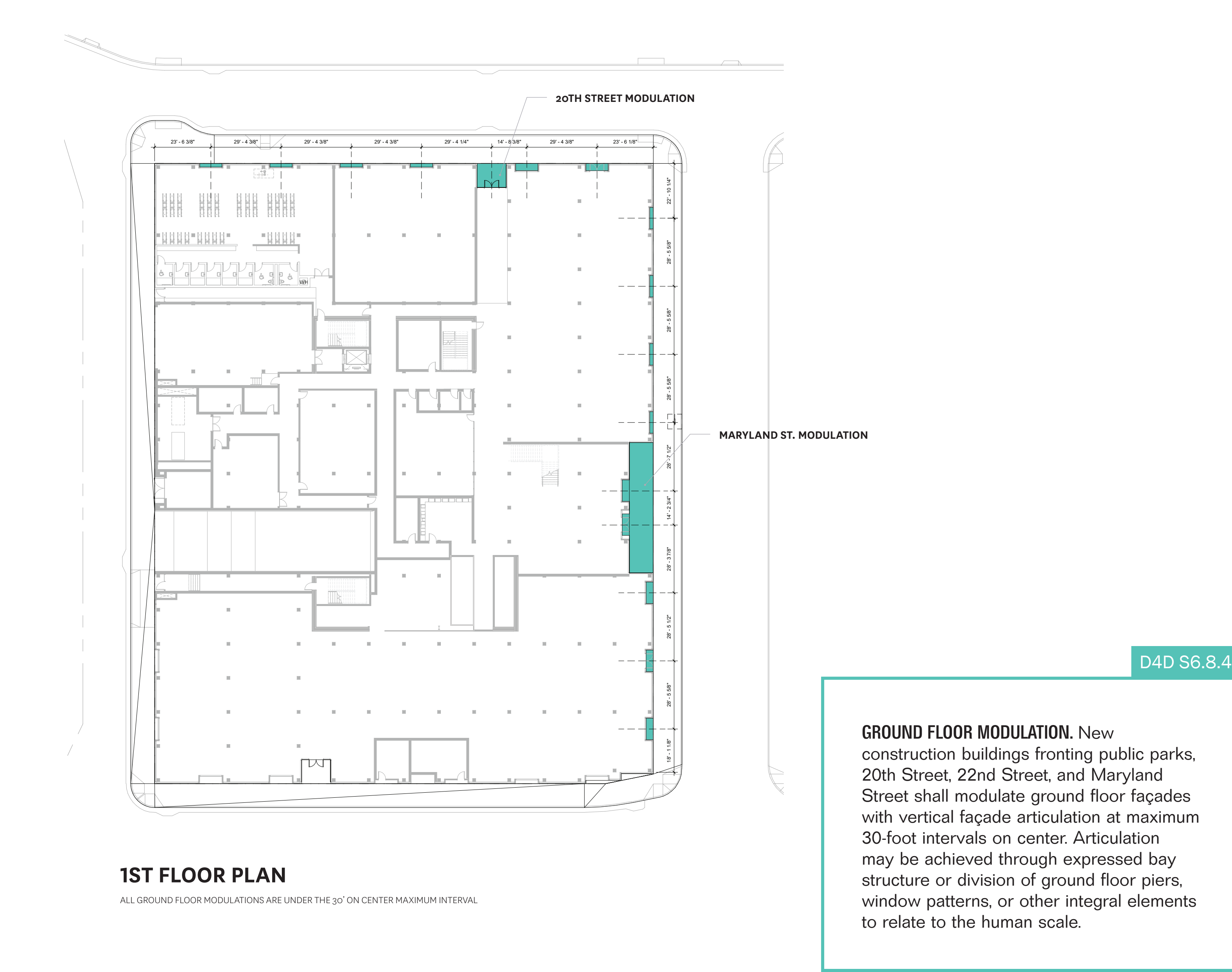
C. GROUND FLOOR TRANSPARENCY



B. DEFINED BASE & GROUND FLOOR HEIGHT



D. GROUND FLOOR MODULATION



Mayor ED 17-02
Priority permit

SITE PERMIT

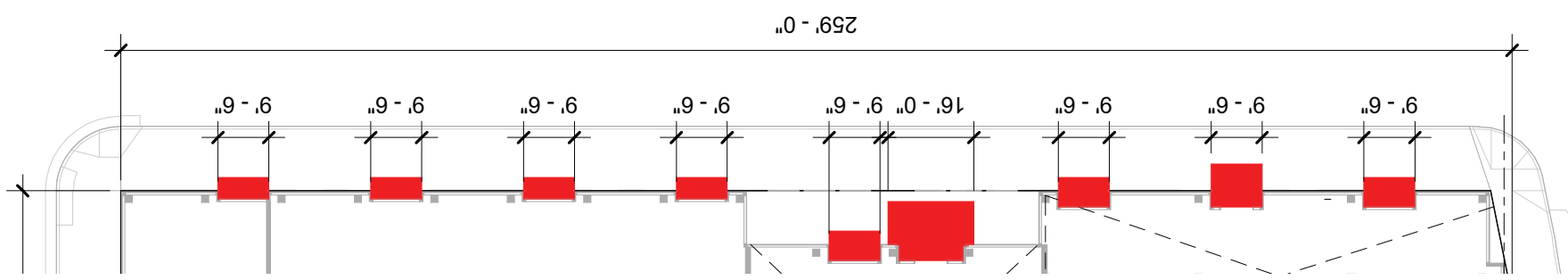
THIS APPLICATION SUBMITTED FOR SITE PERMIT ONLY. NO WORK MAY BE STARTED UNTIL CONSTRUCTION PLANS HAVE BEEN APPROVED.

STAMP

SEAL OF ARCHITECT
WILLIAM C. DAVIS
C 29581
EXP. 7/31/21
STATE OF CALIFORNIA

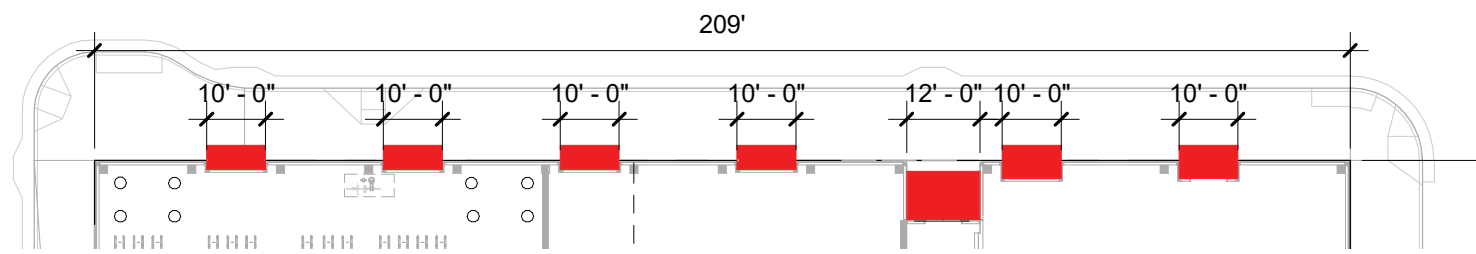
REVISION NO. DATE

A.GROUND FLOOR HORIZONTAL ELEMENT



MARYLAND STREET (EAST ELEVATION)

TOTAL HORIZONTAL ELEMENT = 36% (MIN. REQUIRED: 20%)
FACADE LENGTH = 259 FT
HORIZONTAL ELEMENT = 92 FT



20TH STREET (NORTH ELEVATION)

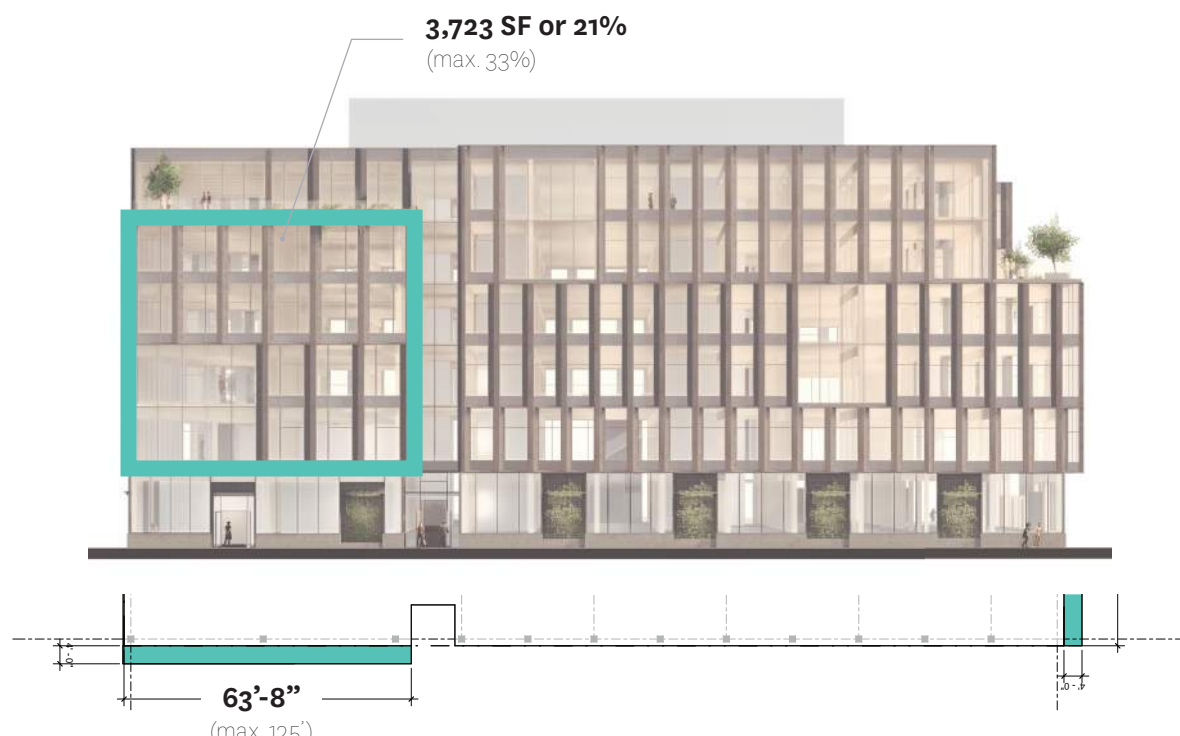
TOTAL HORIZONTAL ELEMENT = 34% (MIN. REQUIRED: 20%)
FACADE LENGTH = 209 FT
HORIZONTAL ELEMENT = 72 FT

D4D S6.8.5

GROUND FLOOR HORIZONTAL ELEMENT. Ground floor frontages for new construction buildings fronting public parks, 20th Street, 22nd Street, and Maryland Street shall have horizontal elements that articulate the pedestrian scale. Frontages along mid-block passages are exempt. Such elements shall cumulatively span a minimum of 20 percent of linear frontage along a building. Horizontal elements may include canopies, marquees, prominent eaves, projections, massing differentiation, and/or architectural features. To create features that relate to a pedestrian scale, no single horizontal projection, including canopies and marquees, shall be continuous for more than 30 feet, in order to create a pedestrian scale and rhythm.

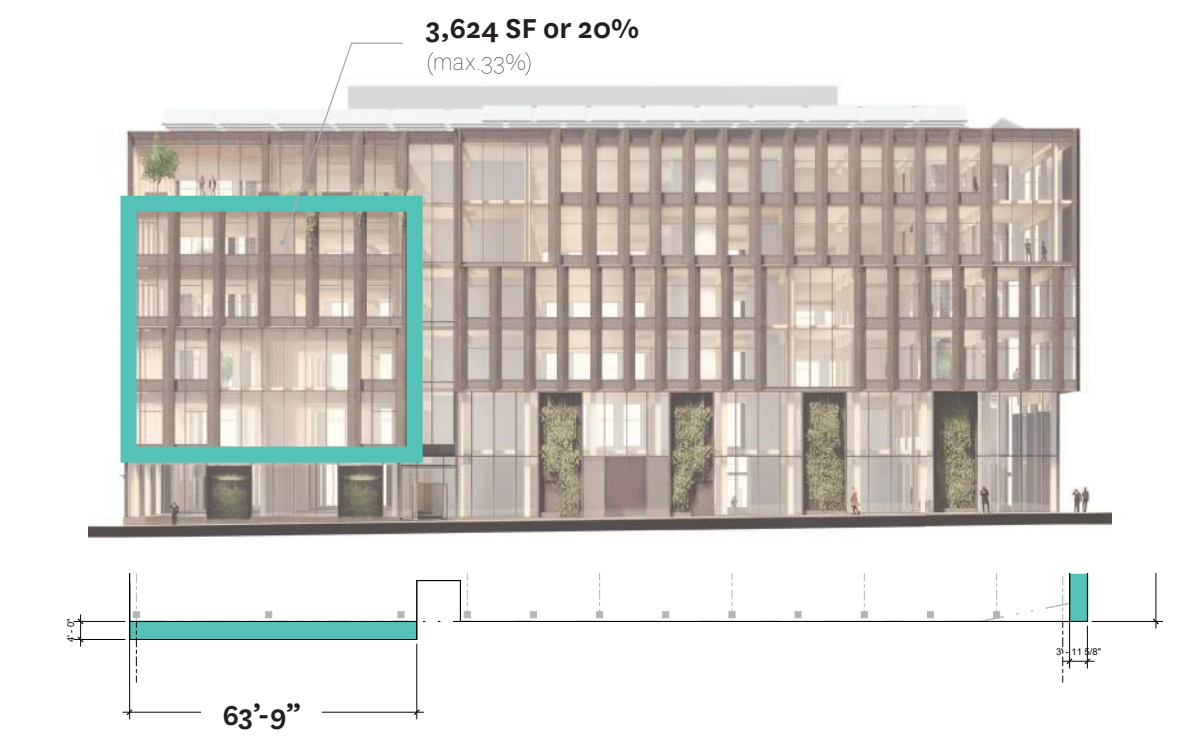
C.PROJECTIONS

OCCUPIABLE PROJECTIONS



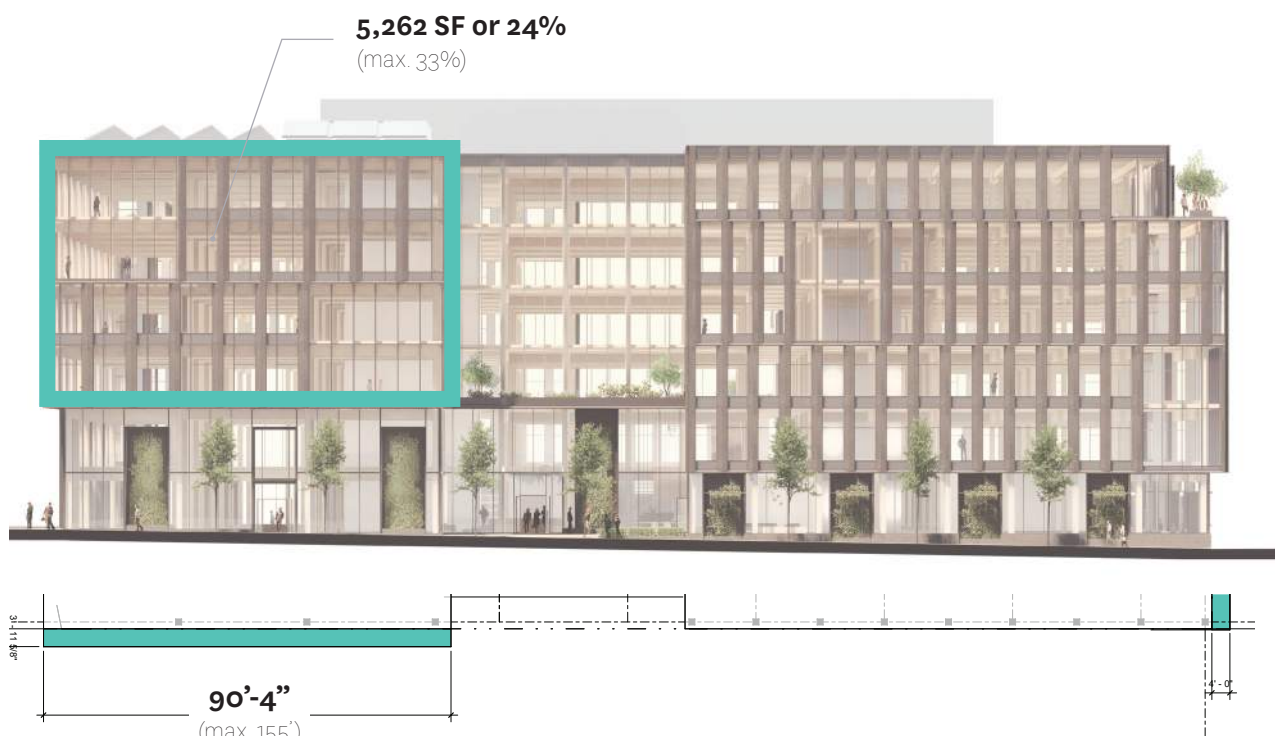
NORTH ELEVATION

BASELINE AREA = 17,670 SF



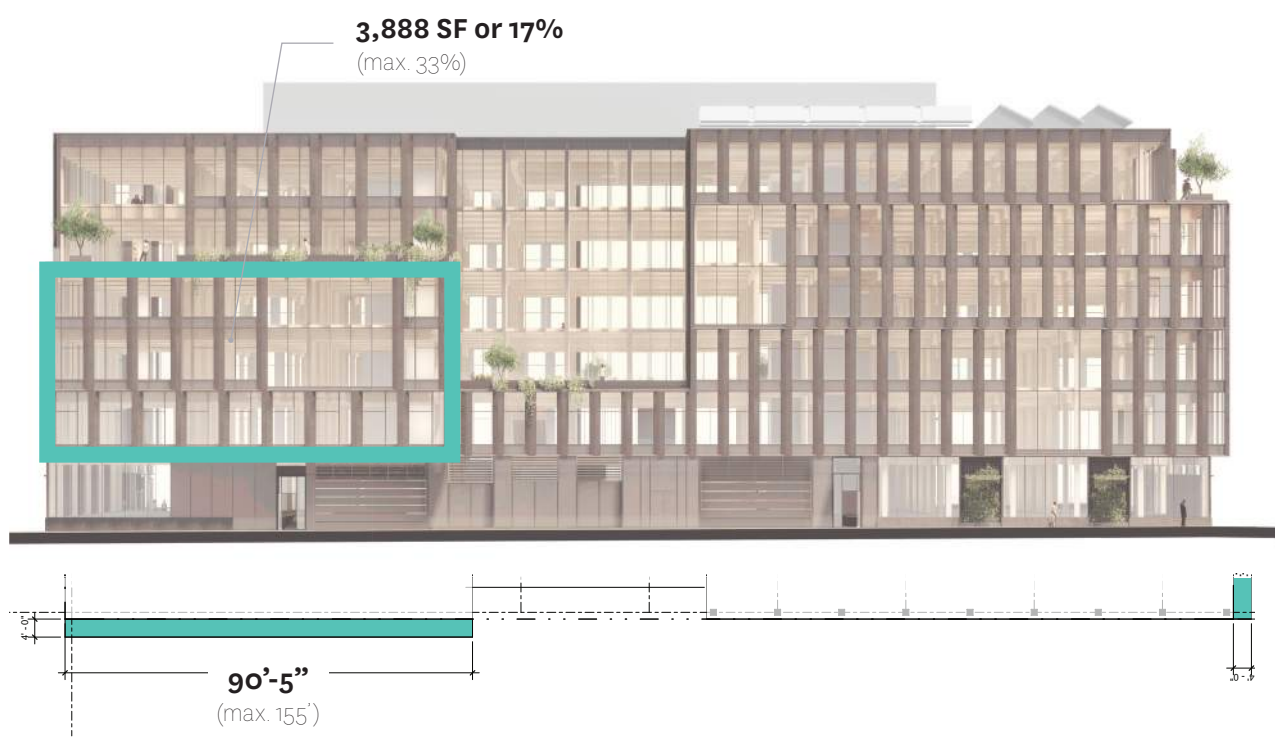
SOUTH ELEVATION

BASELINE AREA = 18,192 SF



EAST ELEVATION

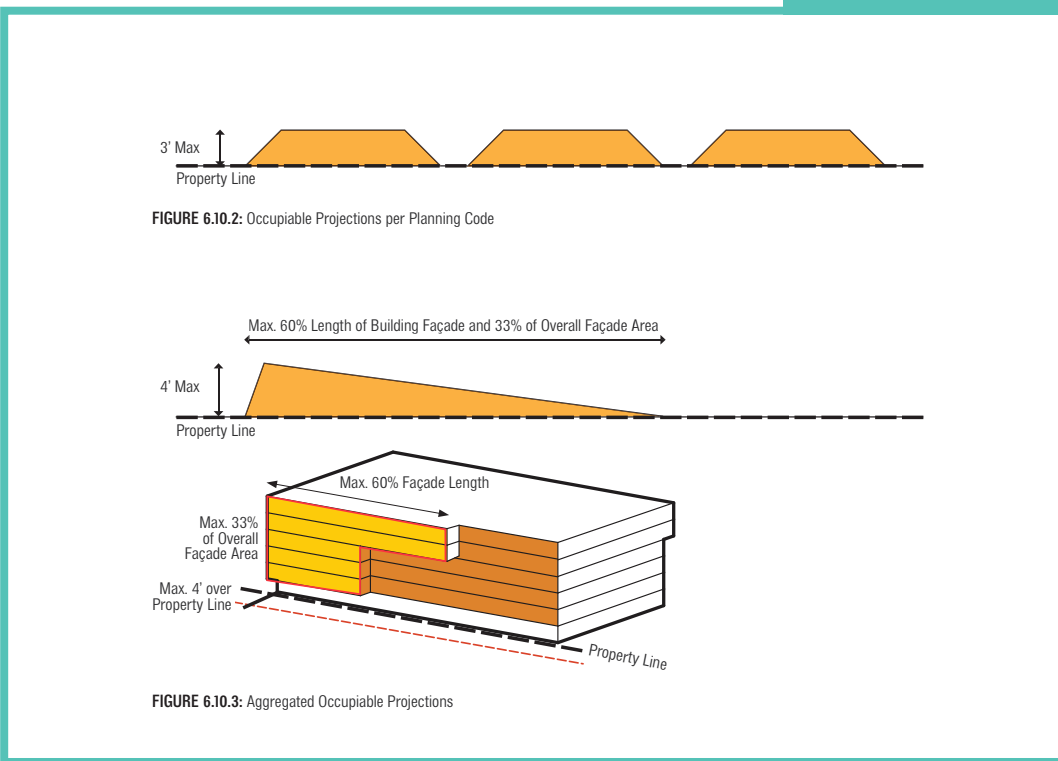
BASELINE AREA = 22,320 SF



WEST ELEVATION

BASELINE AREA = 22,391 SF

D4D S6.10.3



B.GROUND FLOOR COMMERCIAL OFFICE FRONTAGE



NORTH ELEVATION

VISIBILITY ZONE BETWEEN 4-8 FEET
NO PARTIONS ABOVE 3 FEET

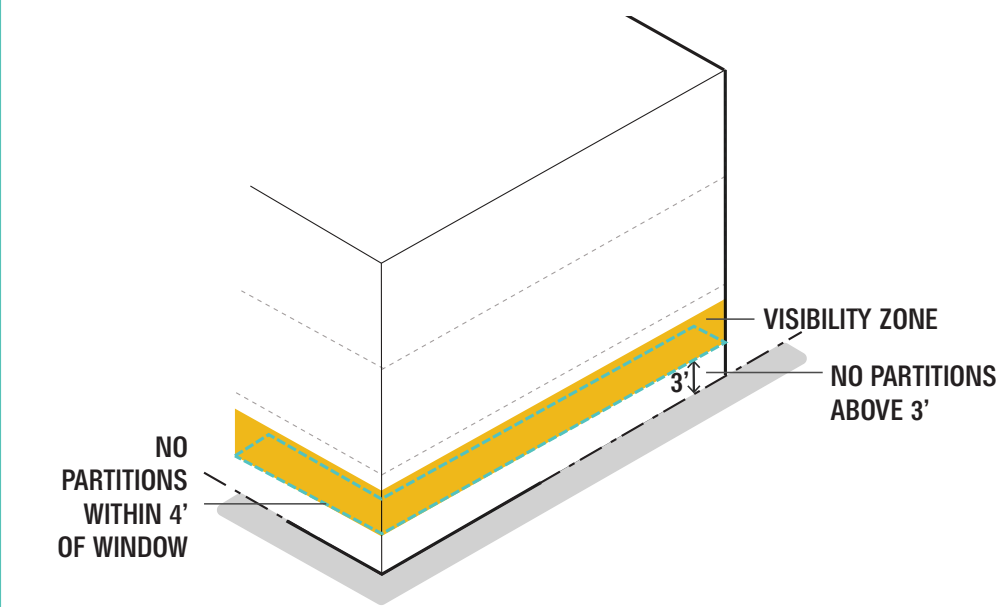


20TH STREET - PLAN VIEW

NO PARTIONS WITHIN 4 FEET OF WINDOW

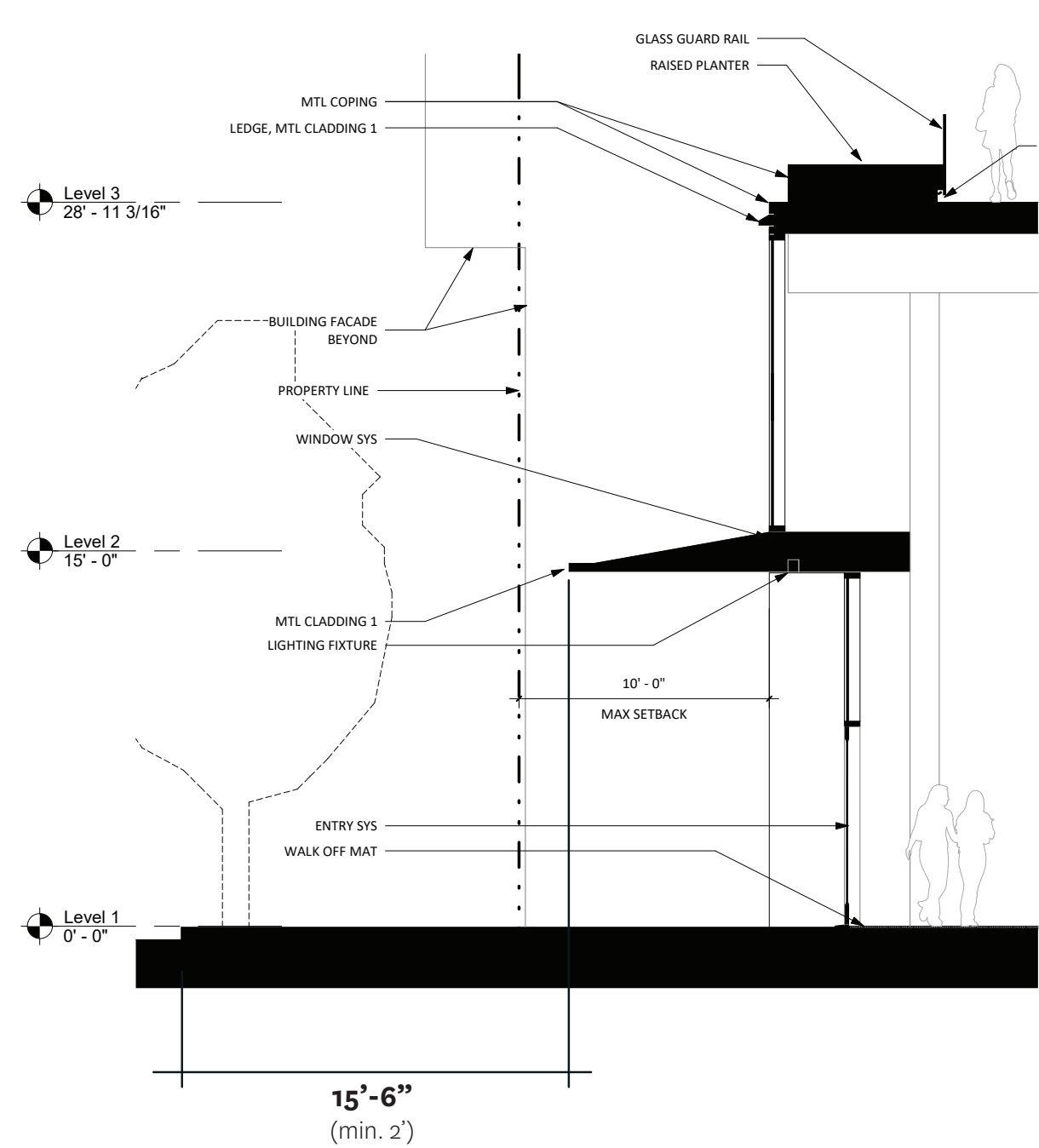
D4D S6.8.6

GROUND FLOOR COMMERCIAL-OFFICE FRONTAGE. The interior area within four feet from the surface of the window glass between a height of four and eight feet above sidewalk level shall be at least 75 percent open to perpendicular view. See Figure 6.8.3 for an illustration of the required visibility zone. No partitions above three feet shall be located within four feet of the window. See also G2.2.1 for guidelines on uses.



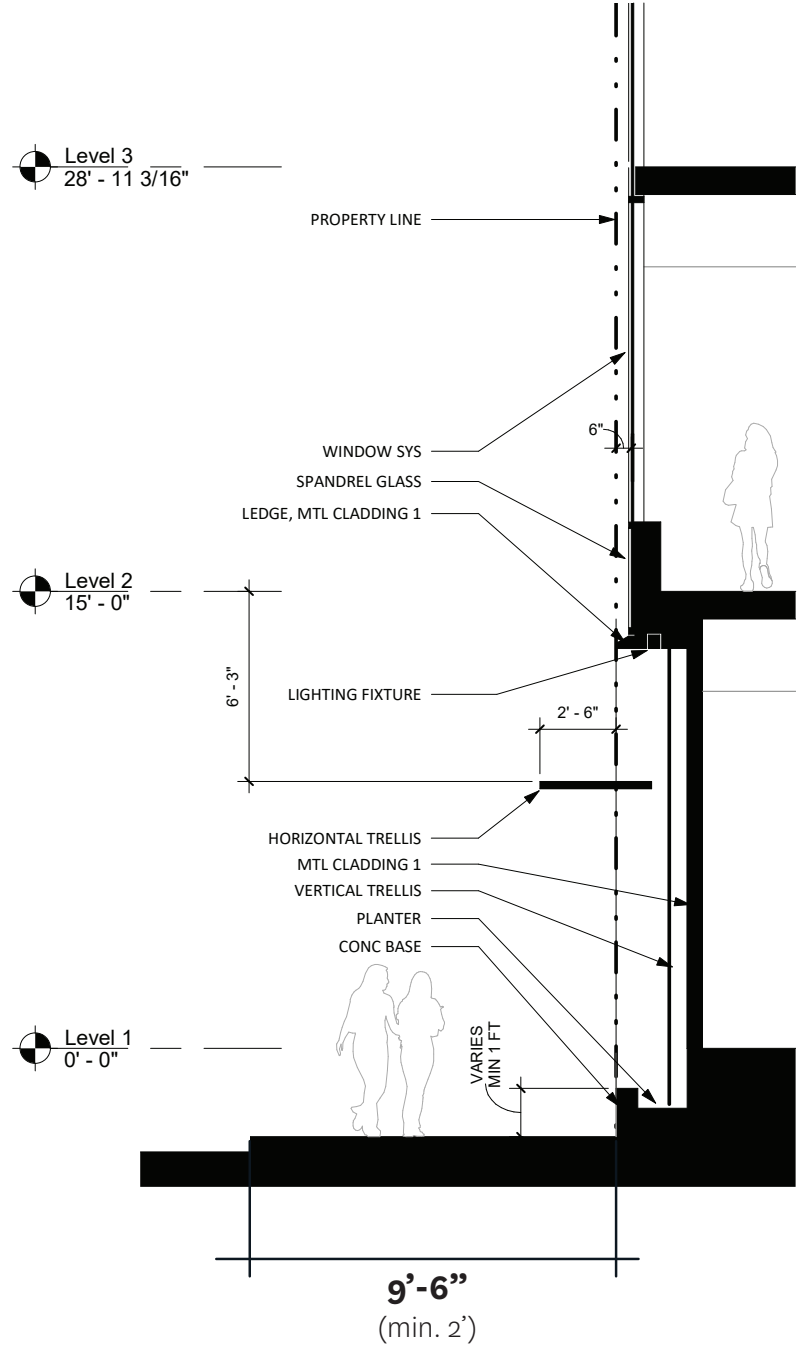
D.PROJECTIONS

NON-OCCUPIABLE PROJECTIONS



ENTRY LOBBY - ENLARGED SECTION

MAY EXTEND UP TO 2' FROM CURB EDGE PROVIDED MIN. CLEARANCE OF 10' PROVIDED FROM SIDEWALK GRADE



PLANTER NICHE- ENLARGED SECTION

MAY EXTEND UP TO 2' FROM CURB EDGE PROVIDED MIN. CLEARANCE OF 10' PROVIDED FROM SIDEWALK GRADE

D4D S6.10.1

GROUND FLOOR NON-OCCUPIABLE PROJECTIONS. Non-occupiable building elements such as cornices, architectural fins, louvers, rain screens, brise soleil, and decorative elements may extend up to one foot into the ROW, provided a minimum clearance of 75 feet is provided from sidewalk grade, and compliance with San Francisco Building Code is met.

Additionally, non-occupiable ground floor horizontal elements such as marquees, awnings, and canopies may extend up to two feet from the curb edge, provided a minimum clearance of ten feet is provided from sidewalk grade.

ARCHITECTS

HACKER

733 SW Oak, Portland,OR 97205

QA

639 FRONT ST, SAN FRANCISCO, CA 94111

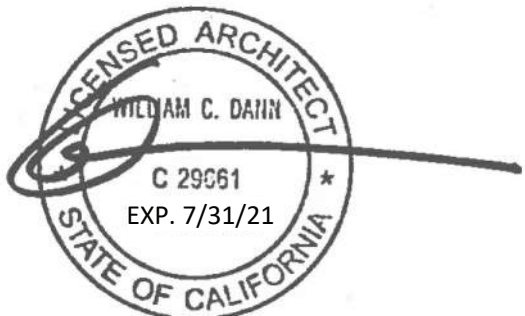
CONSULTANT

Mayor ED 17-02
Priority permit

SITE PERMIT

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STAMP



REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH
PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE

SITE PERMIT

PROJECT NUMBER

1830

DATE

SEPTEMBER 04, 2019

SCALE

DRAWING TITLE

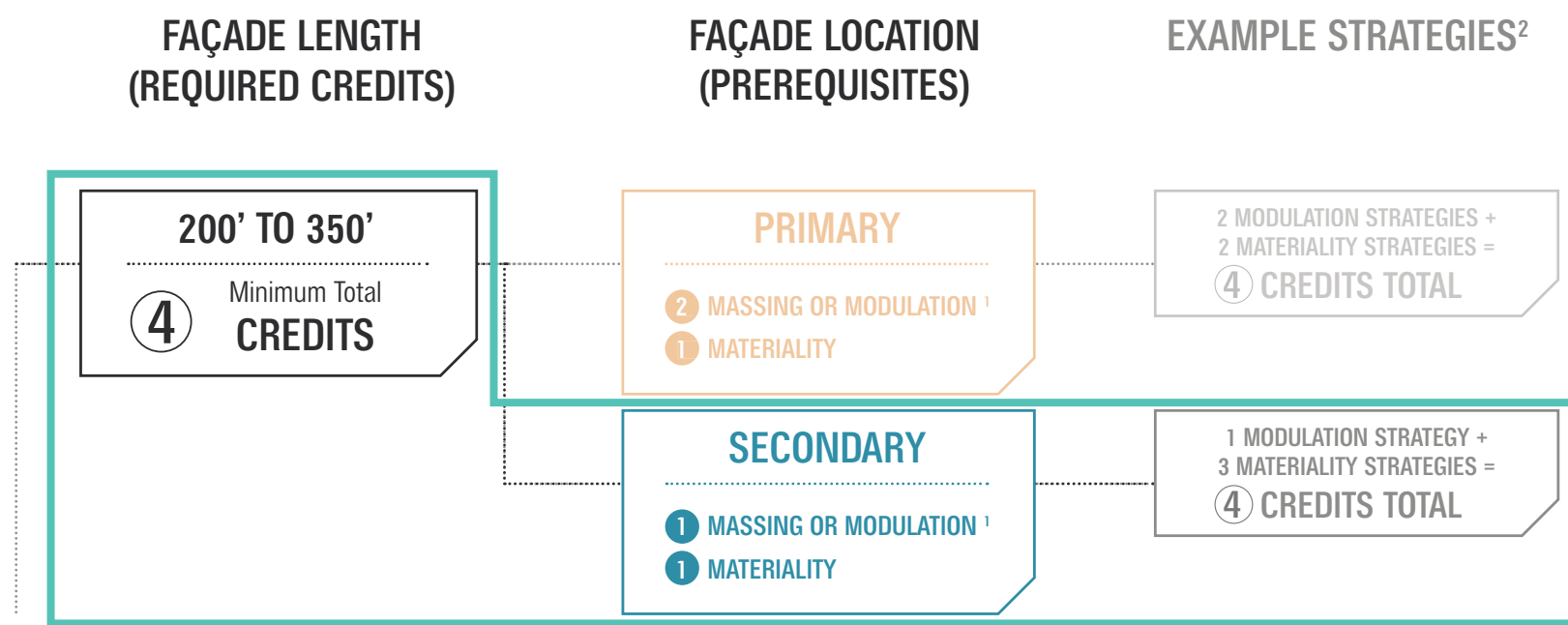
D4D COMPLIANCE

SHEET NUMBER

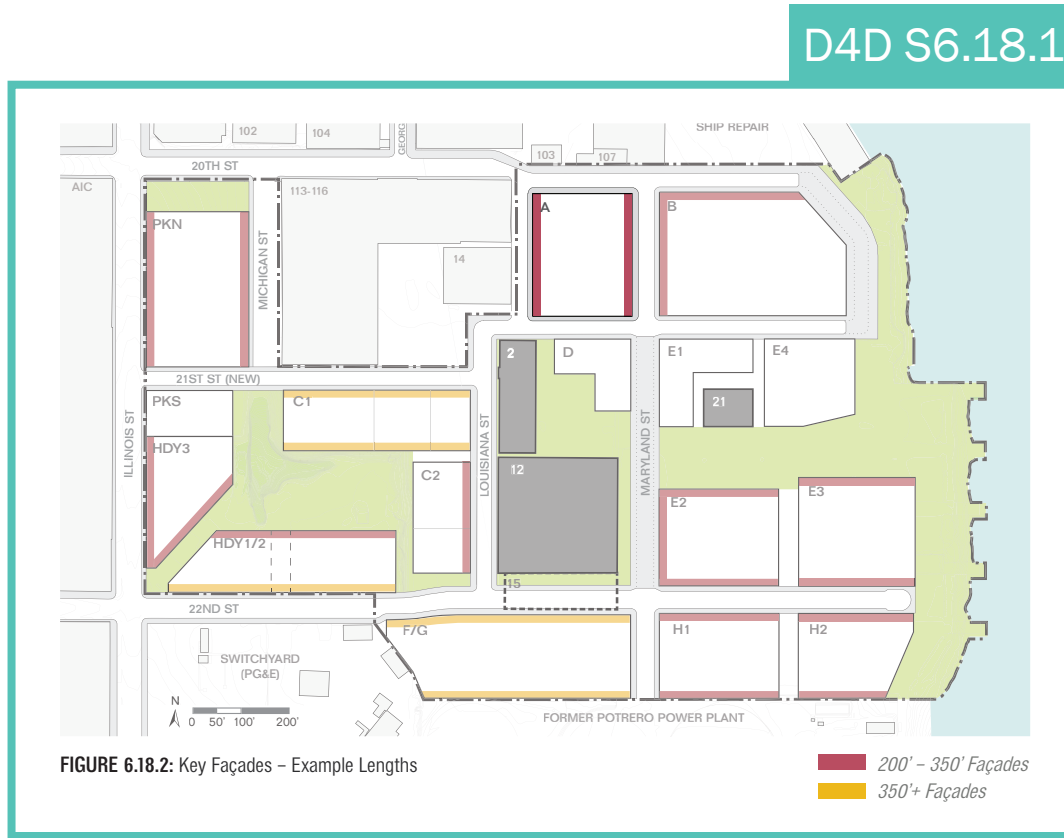
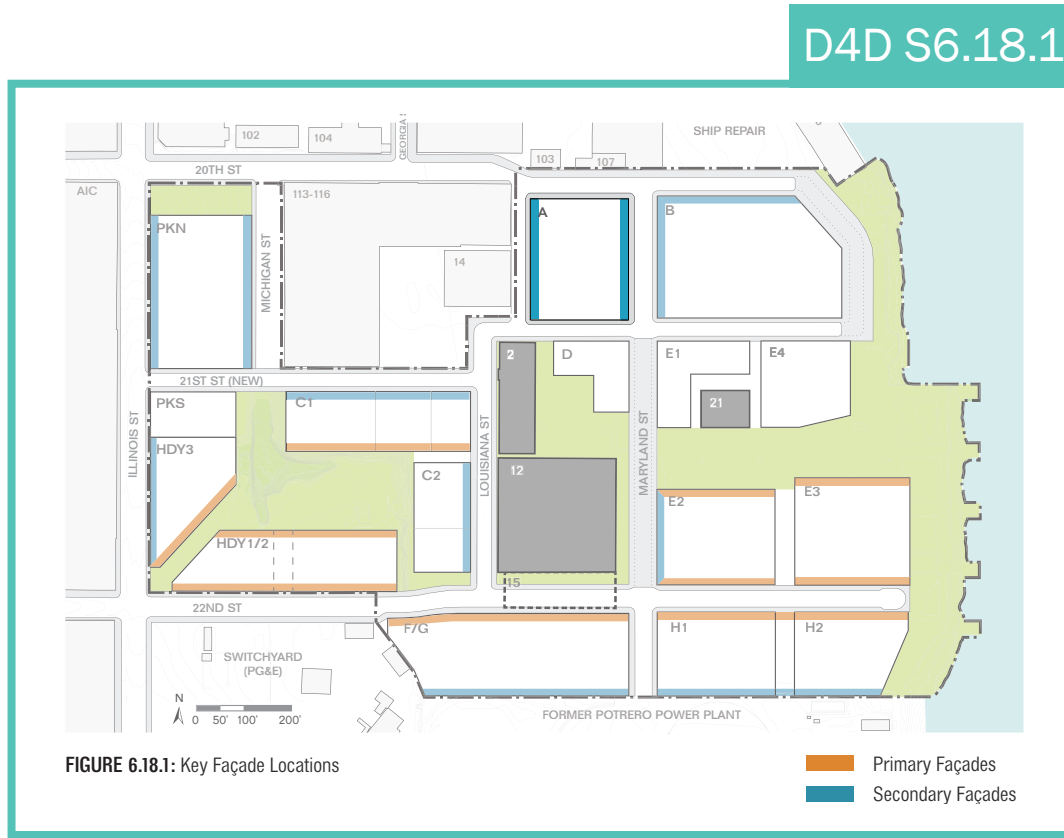
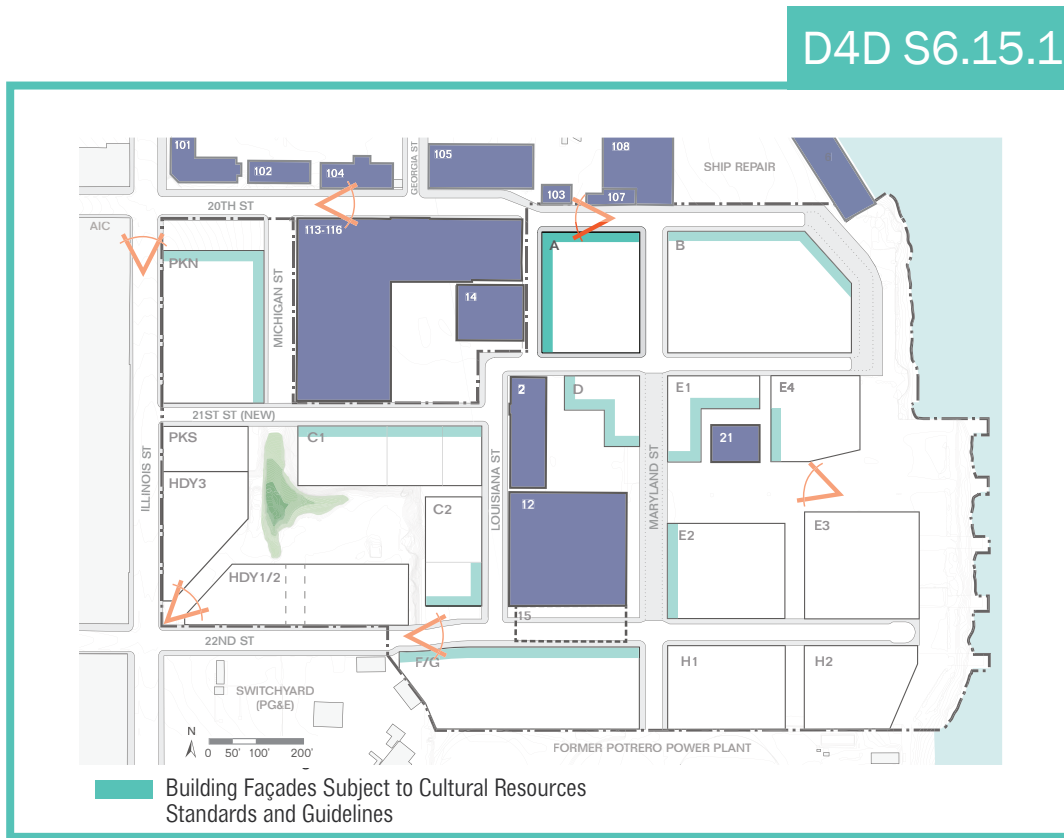
G-003.3

A. KEY FACADE REQUIREMENTS

WEST FACADE - LOUISIANA ST.



FAÇADE LENGTH AND LOCATION TYPE						
	MAX. CREDITS	200 TO 350 FEET	350+ FEET	GARAGE		
		PRIMARY	SECONDARY	PRIMARY	SECONDARY	
QUALIFYING CREDITS: MASSING AND MODULATION (1 credit each, worth 2 credits for every additional beyond prerequisite amount)						
Prerequisite minimum combination of massing OR modulation strategies						
MASSING						
Setbacks	2		1			
Building Over Mid-Block Passages	Unlimited					
External Courtyards	Unlimited					
MODULATION						
Multiple Façade Systems	2					
Volumetric Façade Articulation	Unlimited		1			
Roofline Modulation	1					
QUALIFYING CREDITS: MATERIALITY (1 credit each, 1 credit for every additional beyond prerequisite amount)						
Prerequisite minimum materiality strategy						
Preferred Materials	2	1	1	1	1	0
Material Treatment	Unlimited		1			
Façade Depth	Unlimited					
Shading	Unlimited					
QUALIFYING CREDITS: CREATIVE DESIGN (1 CREDIT)						
	1					
TOTAL CREDITS REQUIRED						
		4	4	6	6	4
TOTAL CREDITS PROVIDED						
			4			
Does this project meet minimum requirements? (Y/N)						



B. QUALIFYING STRATEGIES - MASSING

BASE AND UPPER LEVEL SETBACKS = 1 POINT (1 PREREQUISITE)

Diagram illustrating the relationship between Massing and Setbacks.

MASSING

Setbacks

Base Setback

Upper Level Setbacks

Building Over Mid-Block Passages

External Courtyards

2 STORY (2 story min.)

15' D (10' min.)

88' OR 34% (87' or 33% min.)

LOUISIANA STREET

2015 STREET

Base and Upper Level Setbacks

MIN. DIMENSIONS	QUALIFYING EXAMPLE	CALCULATION METHOD	% MIN. REQUIRED	MAX. CREDITS	RELATED STANDARDS
10' depth (D) 2 Story H. for Commercial 1 Story H. for Residential	Min 10' Min 1-2 floors Min 33%	Qualifying Numerator (Length) ÷ Baseline Denominator (Length)	33% Length	2	Section 6.8 Streetwall S6.71 & S6.72

C. QUALIFYING STRATEGIES - MODULATION

VOLUMETRIC FACADE ARTICULATION = 1 POINT

Diagram illustrating the relationship between Volumetric Façade Articulation and Setbacks.

SUBTRACTION =

28' D
57' W
4 STORIES
2,898 SF

SUBTRACTION =

65' D
15' W
1 STORY
146 SF aa

SUBTRACTION =

10' D
90' W
900 SF

ADDITION =

4' D
85' W
3 STORIES
3,888 SF

AXON LOOKING EAST

BASELINE DENOMINATOR = H * L
H (85') * L (264') = 22,440 SF

ADDITION = 3,888 SF

SUBTRACTION = 3,944 SF

TOTAL = 7,832 SF or 35%
(min. 7,405 or 33%)

TOTAL = 7,832 SF or 35%
(min. 7,405 or 33%)

	MIN. DIMENSIONS	QUALIFYING EXAMPLE	CALCULATION METHOD	% MIN. REQUIRED	MAX. CREDITS	RELATED STANDARDS
Volumetric Façade Articulation	Min. 9' D, 15'-35' W (Comm) 10'-30' W (Res) 1-Story H.		Qualifying Numerator (Area) ÷ Baseline Denominator (Area)	33% Area	Unlimited	Streetwall S6.71, Occupiable Projections S6.10.3

D. QUALIFYING STRATEGIES - MATERIALITY

VOLUMETRIC FACADE ARTICULATION = 2 POINTS (1 PREREQUISITE)

Diagram illustrating the relationship between Materiality and Setbacks.

PREFERRED MATERIAL = METAL PANELS

MATERIAL TREATMENT = SIMULATED BLACKENED STEEL

PREFERRED MATERIAL WITH MATERIAL TREATMENT

MTL CLADDING 1
Dark Gray/Black Simulated Blackened Steel

WEST ELEVATION

BASELINE DENOMINATOR = H * L
H (85') * L (264') = 22,440 SF

PREFERRED MATERIAL = 4,521 SF
(min. 4,488 SF or 20%)

TOTAL = 4,521 SF or 20%
(min. 4,488 SF or 20%)

Preferred Façade Material: Metal Panels

Material Treatment: Printed

The design team has selected "blackened steel" as the finish for the primary exterior building cladding because it is finish that has depth, figure and character. Traditionally, blackening was used as a mild corrosion resistance for steel and was achieved by bathing or rubbing the steel in oxide rich material then heating the steel multiple times. The effect is a variation of color across a piece of metal where it is quite uniform in some areas and varied in others. Layers of color are visible in silver, blue and black hues and the boundaries of the colors are irregular and overlap with one another. Over the years, blackening steel has become a sought after craft for creating fine architectural elements. The weathered finishes of the historic buildings of Pier 70 are different colors and are created by different processes but share the depth, figure and character of blackened steel. Blackened steel is ideal for Parcel A because its dark cool color will give strong contrast to the lightness and warmth of the building's wood structure which is visible through the windows. However, true blackened steel is not corrosion resistant enough to tolerate exposure to weather. The blackening will wear off and the steel will begin to rust changing the color entirely. In order to keep the color and character consistent the design team has recommended a lightweight aluminum metal panel with a custom, multi-layer print to simulate the appearance of blackened steel. The custom pattern will be created by electronically scanning samples of actual blackened steel. The manufacturer changes the relationship of the layers of color on each panel so that repetition of pattern is difficult to perceive. We believe the simulated blackened steel is the best way to achieve the material treatment strategy while complimenting the inherent beauty of Parcel A's wood structure.

	MIN. DIMENSIONS	QUALIFYING EXAMPLE	CALCULATION METHOD	% MIN. REQUIRED	MAX. CREDITS	RELATED STANDARDS
Preferred Materials		Limit of Measure Plane of Measure	Qualifying Numerator (Area) ÷ Baseline Denominator (Area)	20% Area	2	
Material Treatment		Limit of Measure Plane of Measure	Qualifying Numerator (Area) ÷ Baseline Denominator (Area)	20% Area	Unlimited	

MASSING

Setbacks

Base Setback

Upper Level Setbacks

Building Over Mid-Block Passages

External Courtyards

MATERIALITY

Preferred Façade Materials

Wood Siding, Glass, Corrugated Metal, Concrete, Slate Tiles, Precast Brick Panels, Metal Panels

Material Treatment

Weathered Sandblasted Scored, Patterned Printed Laminated, Brushed Scored Woven, Intumescent Coating Extruded Sandblasting, Polishing Enamelled Painted, Printed

Façade Depth

Building Structure Articulation

Change In Plane

Shading

ARCHITECTS

HACKER

733 SW Oak, Portland, OR 97205

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639 FRONT ST, SAN FRANCISCO, CA 94111

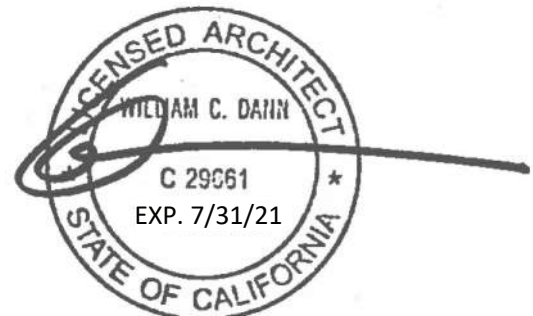
CONSULTANT

Mayor ED 17-02
Priority permit

SITE PERMIT

THIS APPLICATION SUBMITTED FOR
SITE PERMIT ONLY. NO WORK MAY
BE STARTED UNTIL CONSTRUCTION
PLANS HAVE BEEN APPROVED.

STAMP



REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH
PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE

SITE PERMIT

PROJECT NUMBER

1830

DATE

SEPTEMBER 04, 2019

SCALE

DRAWING TITLE

D4D COMPLIANCE

SHEET NUMBER

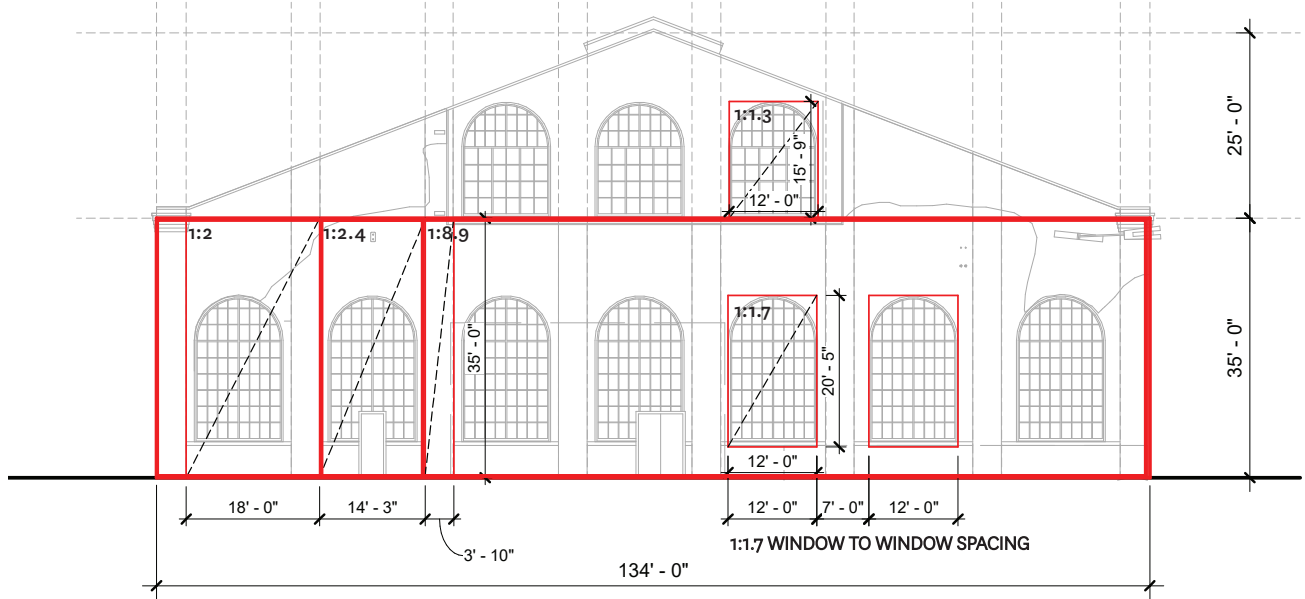
G-003.4

A. HISTORIC REFERENCE

EAST ELEVATION



PARCEL A EAST ELEVATION PROPORTION ANALYSIS



BUILDING 113 EAST ELEVATION PROPORTION ANALYSIS

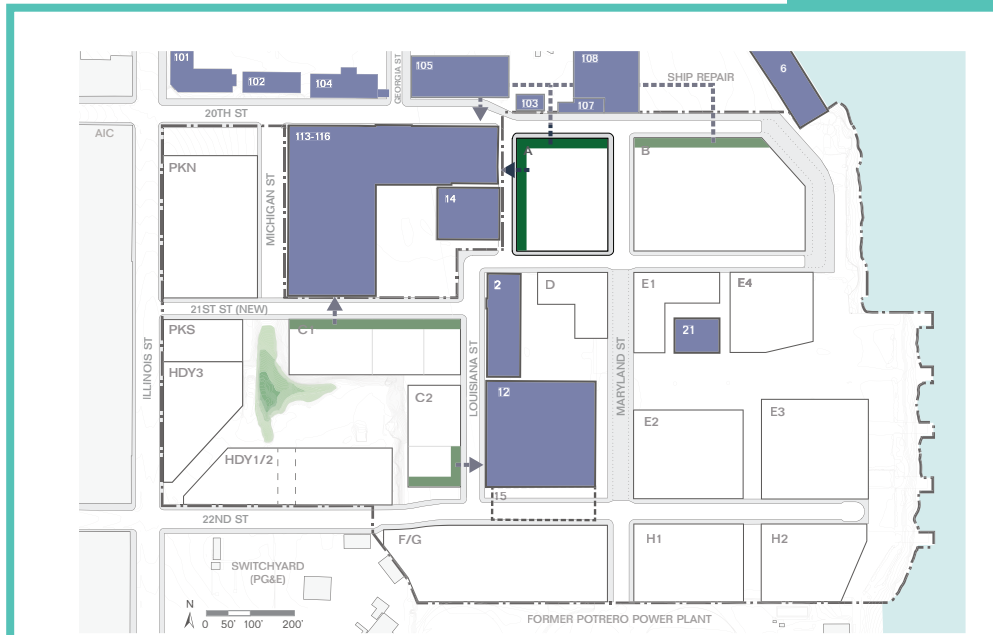
D4D S6.15.4

- S6.15.4 DIMENSIONAL QUALITY. Height reference shall have a dimensional quality, such as a visible projection or recess from the vertical façade plane casting a shadow line, using one of the following strategies:
- Distinct fenestration line;
 - Massing setback (see Table 6.18.3);
 - Volumetric shift (see Table 6.18.4); or
 - Façade material or color change paired with dimensional aspect (see Table 6.18.5).

TABLE 6.15.2: Height Reference Locations

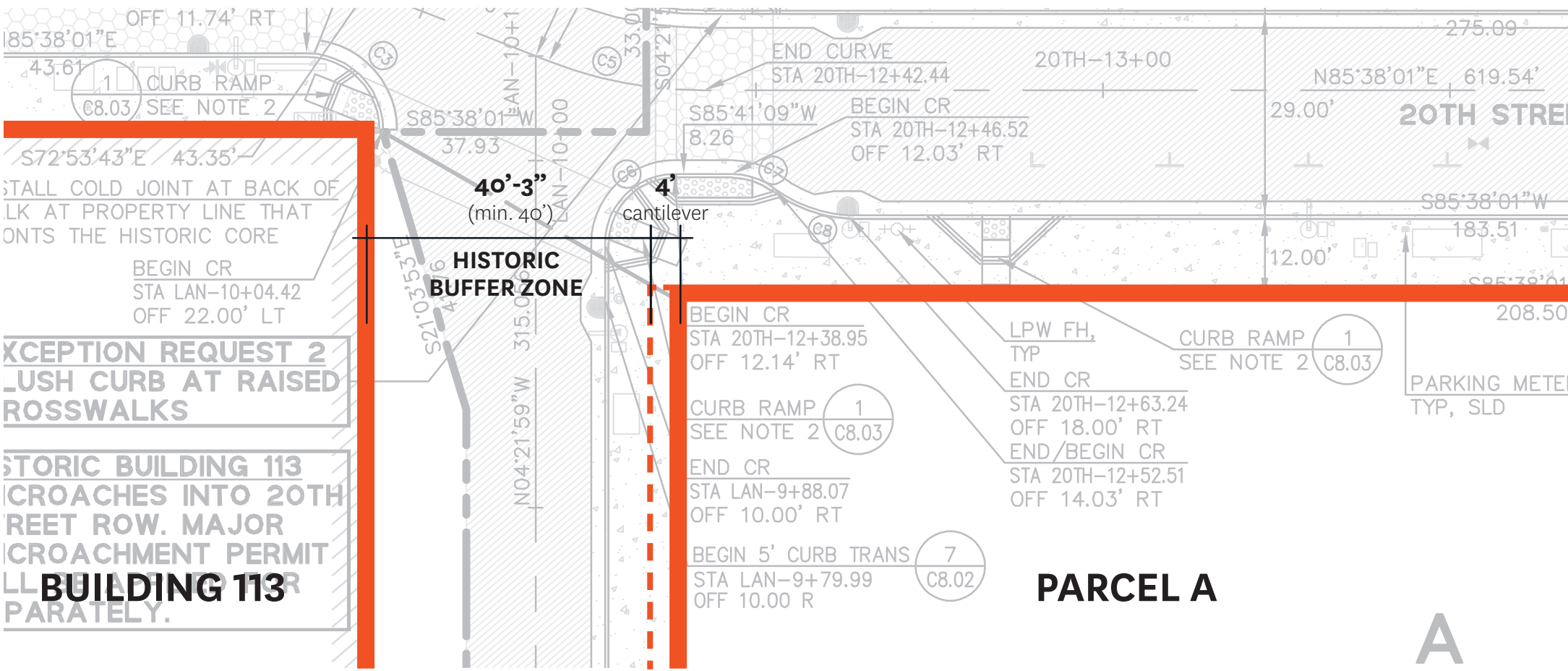
PARCEL	FAÇADE	BUILDING NUMBER / HEIGHT
A	West	Building 113 / 60' height
	North	Building 113 / 35' base
B	North	Building 113 / 60' height
	East	Building 116 / 57' height
C2	East (partial) / South	Building 12 / 60' height

D4D S6.15.3

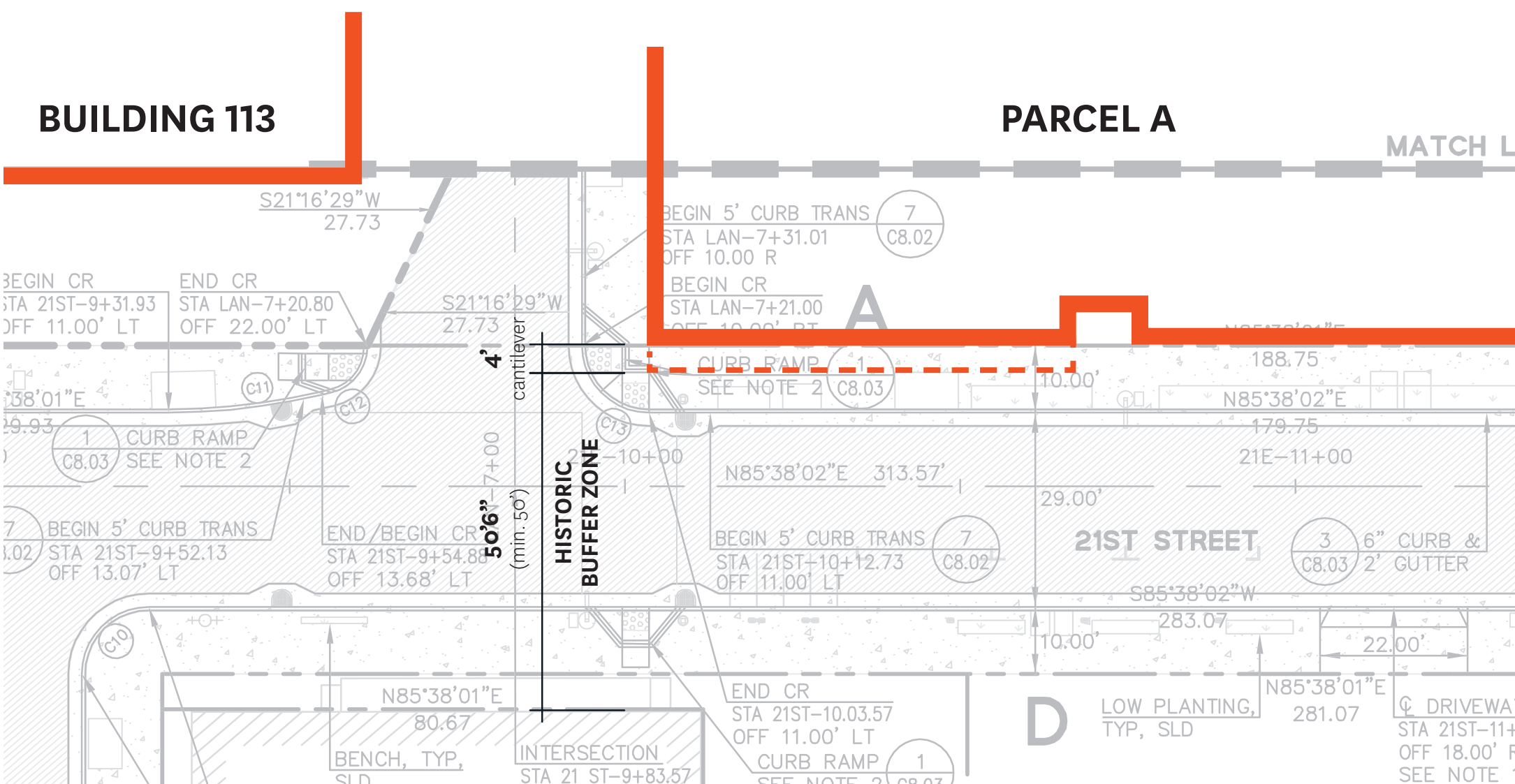


C. BUILDABLE ZONES

NEW CONSTRUCTION BUFFERS

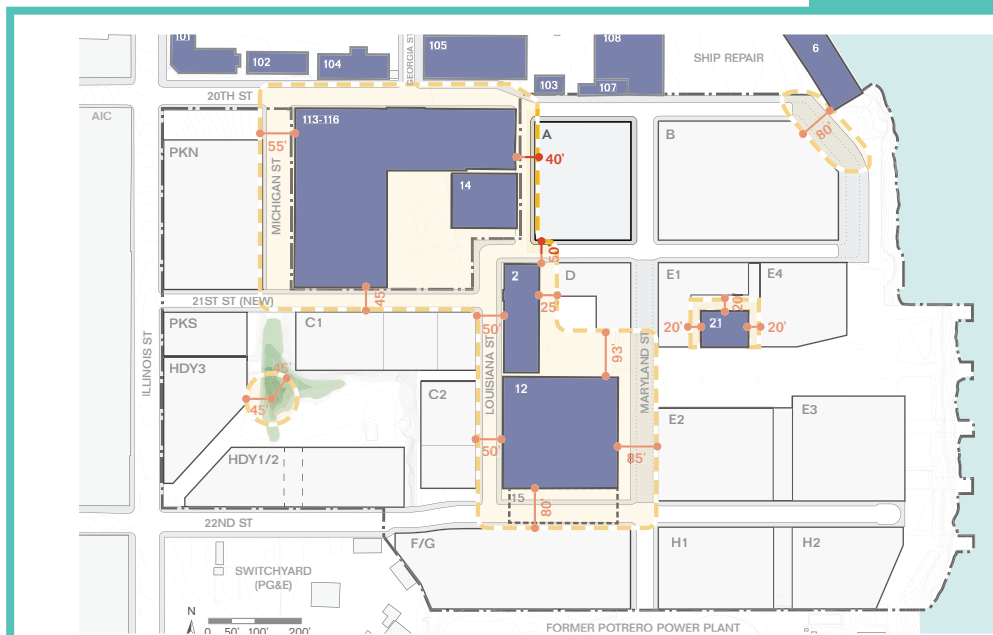


SITE IMPROVEMENT PLAN - NW CORNER



SITE IMPROVEMENT PLAN - SW CORNER

D4D F6.3.2



B.

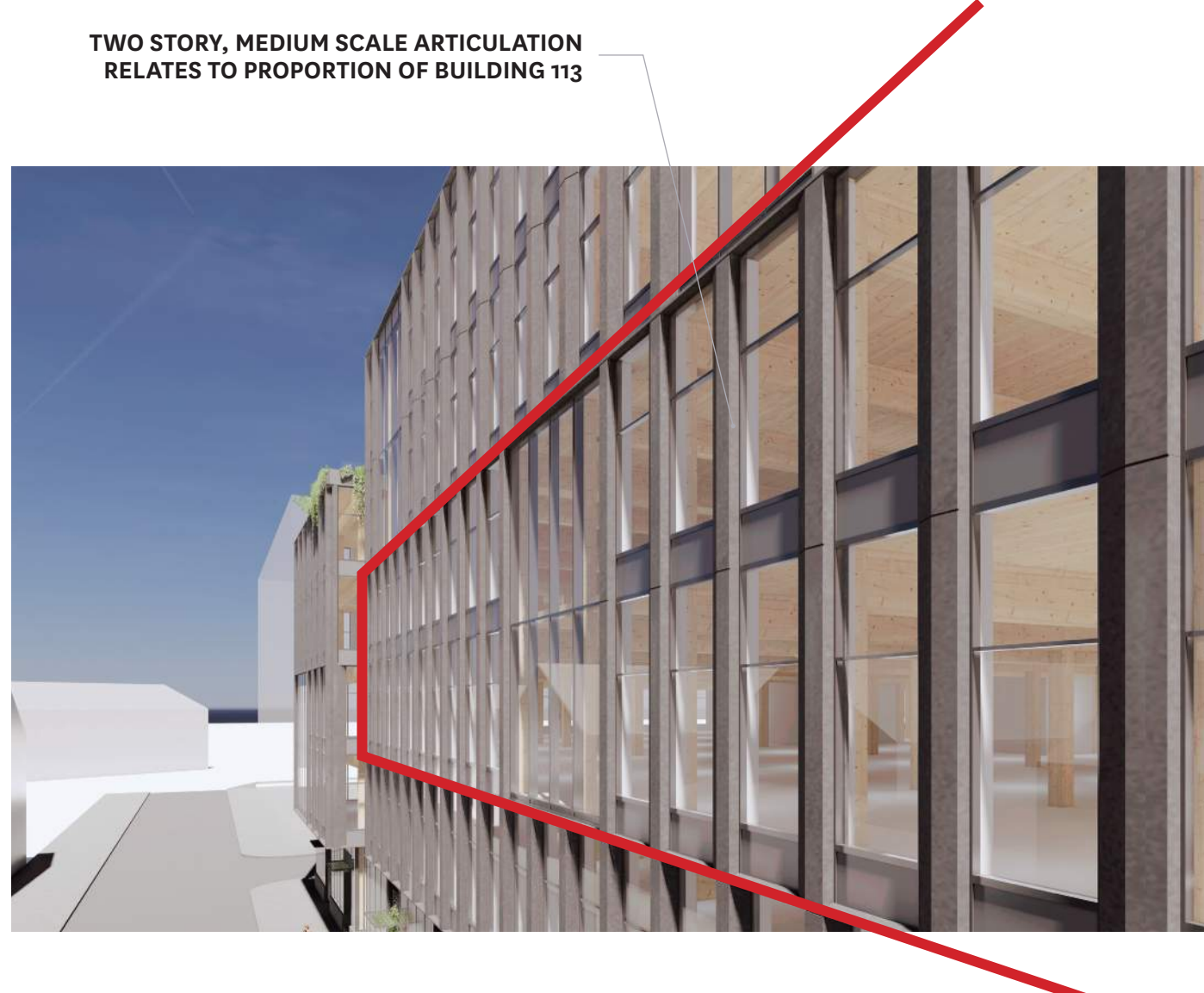


BUILDING 113 BASE PROPORTION



REPEATING VERTICAL PIERS CREATE TEXTURE IN PERSPECTIVE

BUILDING 113



TWO STORY, MEDIUM SCALE ARTICULATION RELATES TO PROPORTION OF BUILDING 113



REPEATING VERTICAL PIERS CREATE TEXTURE IN PERSPECTIVE

PARCEL A

D.

ARCHITECTS

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CONSULTANT

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH
PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE
PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE

DRAWING TITLE
D4D COMPLIANCE

SHEET NUMBER

G-003.6

NOTES:

GENERAL NOTES

1. IT SHALL BE UNDERSTOOD THAT THE TERM "CITY ENGINEER" OR "THE CITY" AS USED HEREIN IS THE CITY ENGINEER OF THE CITY OF SAN FRANCISCO OR HIS AUTHORIZED REPRESENTATIVE AND THAT THE TERM "CHIEF HARBOR ENGINEER" AS USED HEREIN IS THE CHIEF HARBOR ENGINEER OF THE PORT OF SAN FRANCISCO OR HIS AUTHORIZED REPRESENTATIVE.
2. THE WORK SHOWN ON THESE PLANS SHALL BE CONSTRUCTED IN ACCORDANCE WITH CITY AND COUNTY OF SAN FRANCISCO STANDARD PLANS & SPECIFICATIONS, LATEST EDITION AND WITH APPROVED PIER 70 SUD PHASE 1 IMPROVEMENT PLANS AND SPECIFICATIONS.
3. ALL REVISIONS TO THESE PLANS MUST BE REVIEWED AND APPROVED IN WRITING BY THE DESIGN ENGINEER, BKF ENGINEERS AT (650)482-6300, PRIOR TO CONSTRUCTION OF AFFECTED ITEMS, REVISIONS SHALL BE ACCURATELY SHOWN ON REVISED PLANS.

EARTHWORK AND GRADING

1. GRADING AND EARTHWORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE CONSTRUCTION DOCUMENTS AND THE REQUIREMENTS AND RECOMMENDATIONS FROM THE GEOTECHNICAL REPORT TITLED "ONSITE AND OFFSITE IMPROVEMENTS, PIER 70 - 28-ACRE SITE, SAN FRANCISCO, CALIFORNIA, GEOTECHNICAL EXPLORATION" PREPARED BY ENGeo DATED JANUARY 5, 2018.

UTILITIES

1. WATER:

a. WATER WORKS SHALL BE IN ACCORDANCE WITH THE LATEST SAN FRANCISCO WATER DEPARTMENT STANDARD PLANS AND SPECIFICATIONS, AND SHALL BE SUBJECT TO INSPECTION BY THE DEPARTMENT.

LEGEND:

PROPERTY/RIGHT OF WAY LINE	
PROJECT BOUNDARY LINE	
PARCEL LINES	
CENTERLINE	
CONTOUR LINE	
COMBINED SEWER LINE	
COMBINED SEWER FORCE MAIN	
AUXILIARY WATER SUPPLY SYSTEM	
LOW PRESSURE WATER LINE	
NON-POTABLE WATER LINE	
COMBINED SEWER MANHOLE	
CATCH BASIN	
FIRE HYDRANT AND CLEARANCE SPACE	
WATER VALVE	
BACKFLOW PREVENTER	
AIR VALVE	
BLOW-OFF VALVE	
UTILITY METER	
PARKING METER	
TRASH CAN	
BENCH	
STREET LIGHT	
STREET TREE	
BIKE RACK	

ABBREVIATIONS:

AWSS	AUXILIARY WATER SUPPLY SYSTEM
BLDG	BUILDING
BW	BACK OF WALK
CS	COMBINED SEWER
CSFM	COMBINED SEWER FORCE MAIN
IB	INFORMATION BULLETIN
FAZ	FIRE ACCESS ZONE
FW	FIRE WATER
FL	FLOW LINE
R/W,ROW	RIGHT-OF-WAY
LPW	LOW PRESSURE WATER
NPW	NON-POTABLE WATER
SD	STORM DRAIN
SS	SANITARY SEWER
TC	TOP OF CURB
TP	TOP OF PAVEMENT
TYP	TYPICAL

ARCHITECTS

HACKER

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CONSULTANT



BKF 100+
YEARS
ENGINEERS . SURVEYORS . PLANNERS
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SUITE 600
SAN FRANCISCO, CA 94111
(415) 930-7900
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STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



Project Name

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE

50% SD SET

PROJECT NUMBER

20170209

ClientProjectNo.

DATE

SCALE

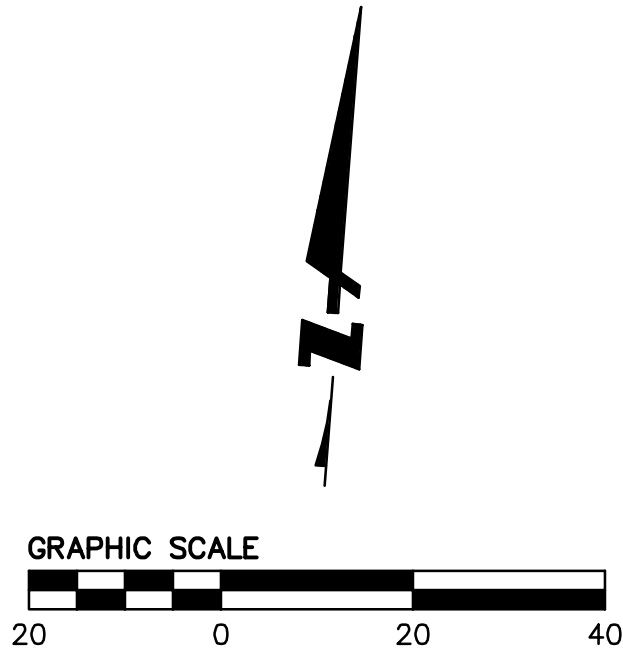
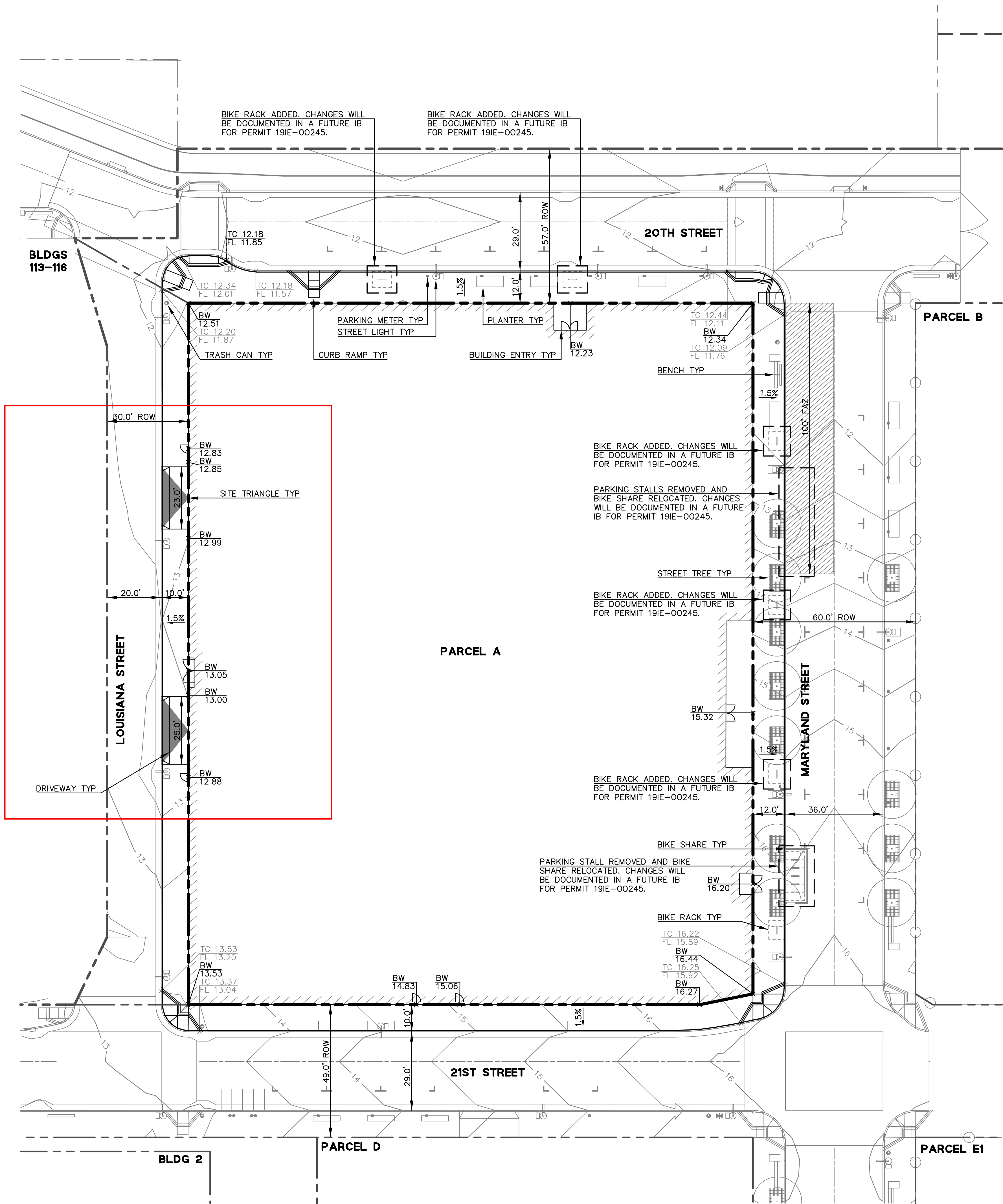
DRAWING TITLE

NOTES, LEGEND, AND
ABBREVIATIONS

SHEET NUMBER

C-01

NOTE:
DETAILS FOR IMPROVEMENTS ON FRONTAGES, INCLUDING BUT NOT LIMITED TO CURB AND GUTTER, DRIVEWAYS, SIDEWALKS, ETC. ARE INCLUDED IN THE PIER 70 SUD PHASE 1 IMPROVEMENT PLANS, PERMIT 19IE-00245.



ARCHITECTS

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CONSULTANT

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SAN FRANCISCO, CA 94111
(415) 930-7900
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STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH
PLAN NORTH

Project Name

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE

50% SD SET

PROJECT NUMBER

20170209

ClientProjectNo.

DATE

SCALE

1" = 20'

DRAWING TITLE

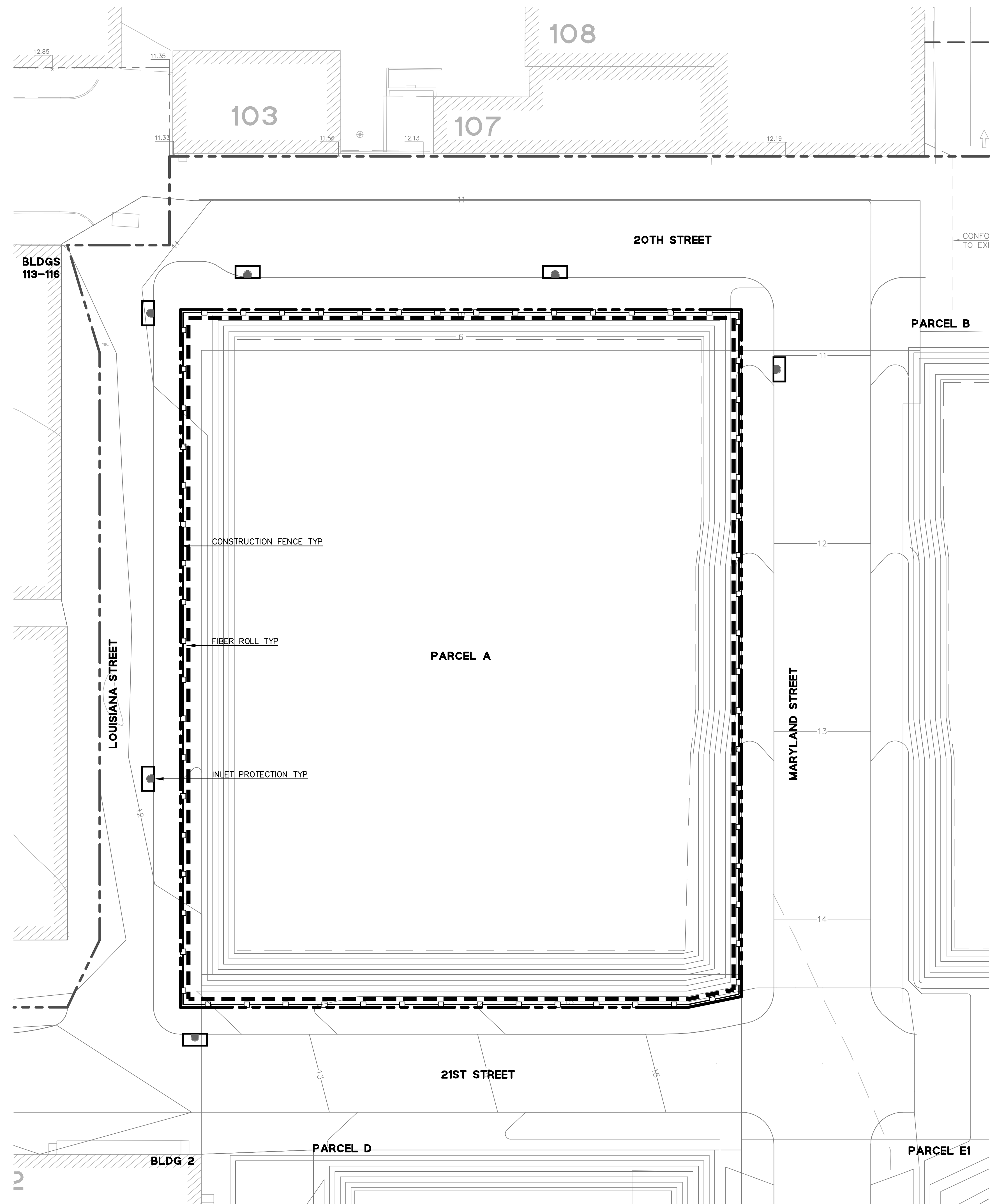
SITE PLAN AND GRADING

SHEET NUMBER




C-02

The site plan for Parcel A is bounded by Louisiana Street to the west, 20th Street to the north, 21st Street to the south, and Maryland Street to the east. To the west of Louisiana Street are buildings 113-116. To the south of 21st Street is Building 12. The plan shows a complex network of utility lines: 18" CSFM gas lines along 20th Street; 8" NPW and 48" CS water lines along 20th Street; 36" CS gas lines along 21st Street; and 8" NPW and 8" LPW water lines along 21st Street. Sewer lines include 12" SD, 8" SS, and 42" CS. Other utilities shown are 1" irrigation service and meter, AWSS hydrant typ, LPW hydrant typ, and building entry typ. Several annotations indicate future changes: "BIKE RACK ADDED, CHANGES WILL BE DOCUMENTED IN A FUTURE IB FOR PERMIT 191E-00245." and "PARKING STALLS REMOVED AND BIKE SHARE RELOCATED, CHANGES WILL BE DOCUMENTED IN A FUTURE IB FOR PERMIT 191E-00245." The plan also shows a 100' FAZ (Future Access Zone) and various other street-level details like curbs, sidewalks, and streetlights.

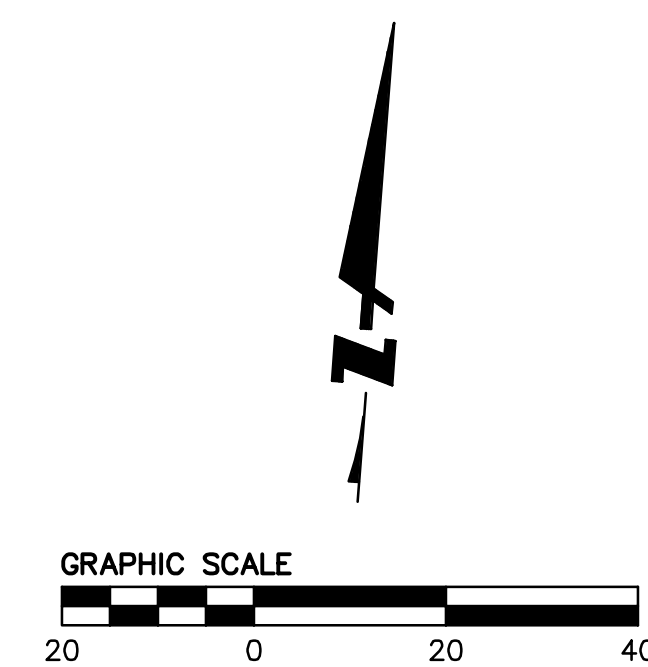
C-03

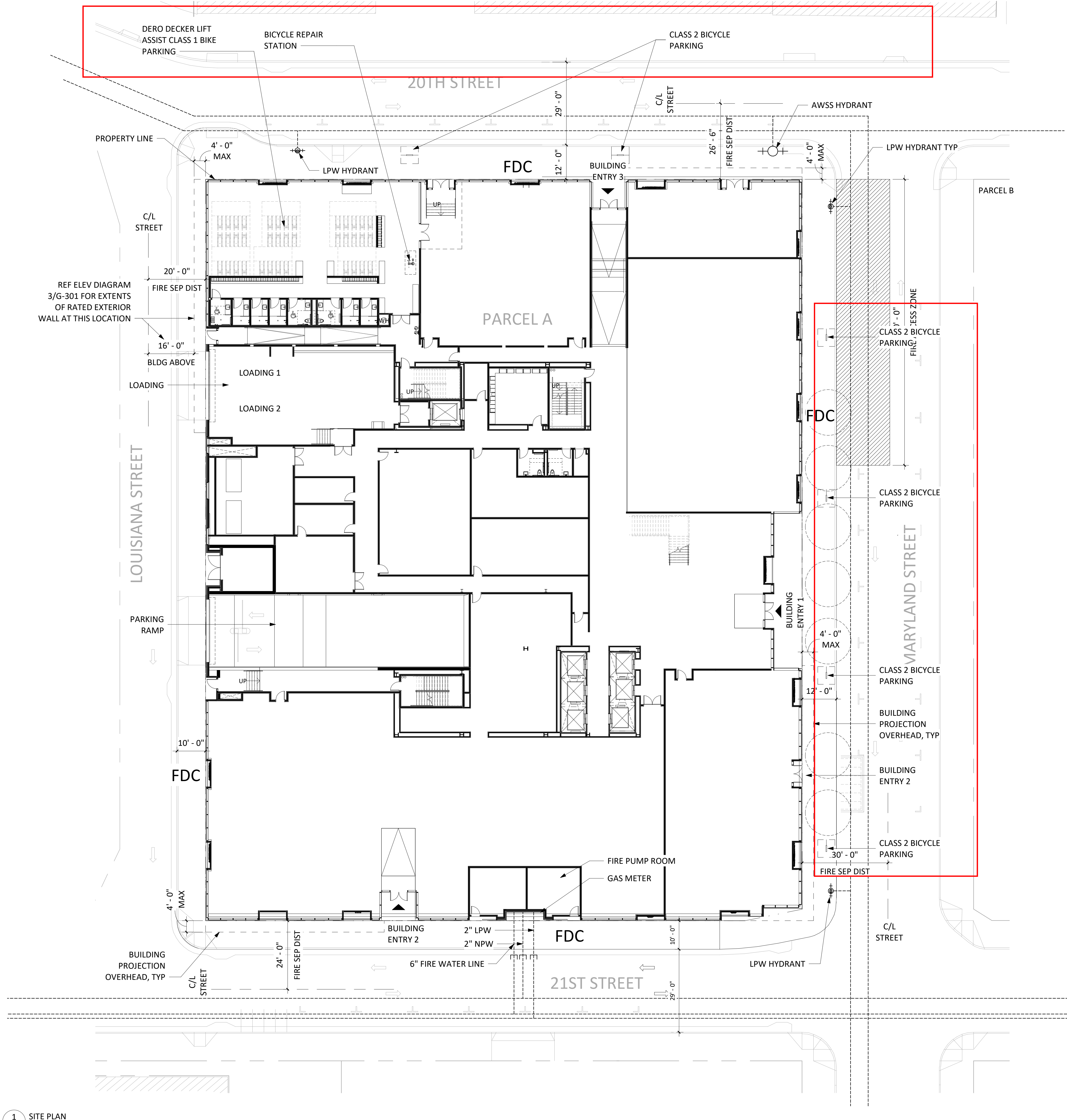


EROSION CONTROL LEGEND

 INLET PROTECTION
 FIBER ROLL
 CONSTRUCTION FENCE

NOTE:
EROSION CONTROL PLAN REPRESENTS INITIAL CONDITION ONLY. UPDATES TO PLAN AS SITE CONDITIONS CHANGE ARE THE RESPONSIBILITY OF THE CONTRACTOR.





1 SITE PLAN
A-060 1/16" = 1'-0"

PORT OF SAN FRANCISCO
PIER 70 RISK MANAGEMENT PLAN (RMP)

THE PORT OF SAN FRANCISCO PIER 70 RISK MANAGEMENT PLAN (RMP)
APPLIES TO THIS PROJECT SITE. IT IS THE CONTRACTOR'S RESPONSIBILITY TO
COMPLY THIS PLAN, INCLUDING THE FOLLOWING AS APPLICABLE:

1. CITY AND COUNTY OF SAN FRANCISCO HEALTH CODE ARTICLE 22A
2. ENVIRONMENTAL HEALTH AND SAFETY PLAN (EHSP), IF APPLICABLE, OR STATE REQUIREMENT OF SITE-SPECIFIC EHSP PREPARED BY A CERTIFIED INDUSTRIAL HYGIENIST
3. DUST CONTROL PLAN FOR PIER 70 MASTER PLAN AREA, IF APPLICABLE
4. ASBESTOS DUST MITIGATION PLAN (ADMP), IF APPLICABLE
5. SOIL IMPORT PLAN, IF APPLICABLE

ARCHITECTS

HACKER

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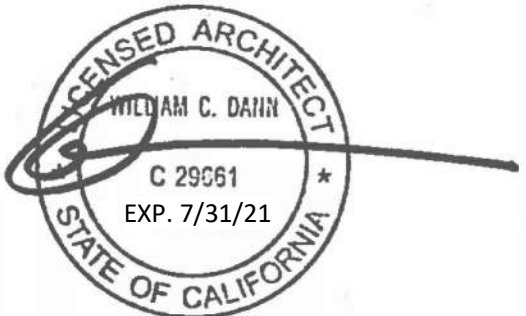
CONSULTANT

Mayor ED 17-02
Priority permit

SITE PERMIT

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STAMP



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DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
SITE PERMIT

PROJECT NUMBER
1830

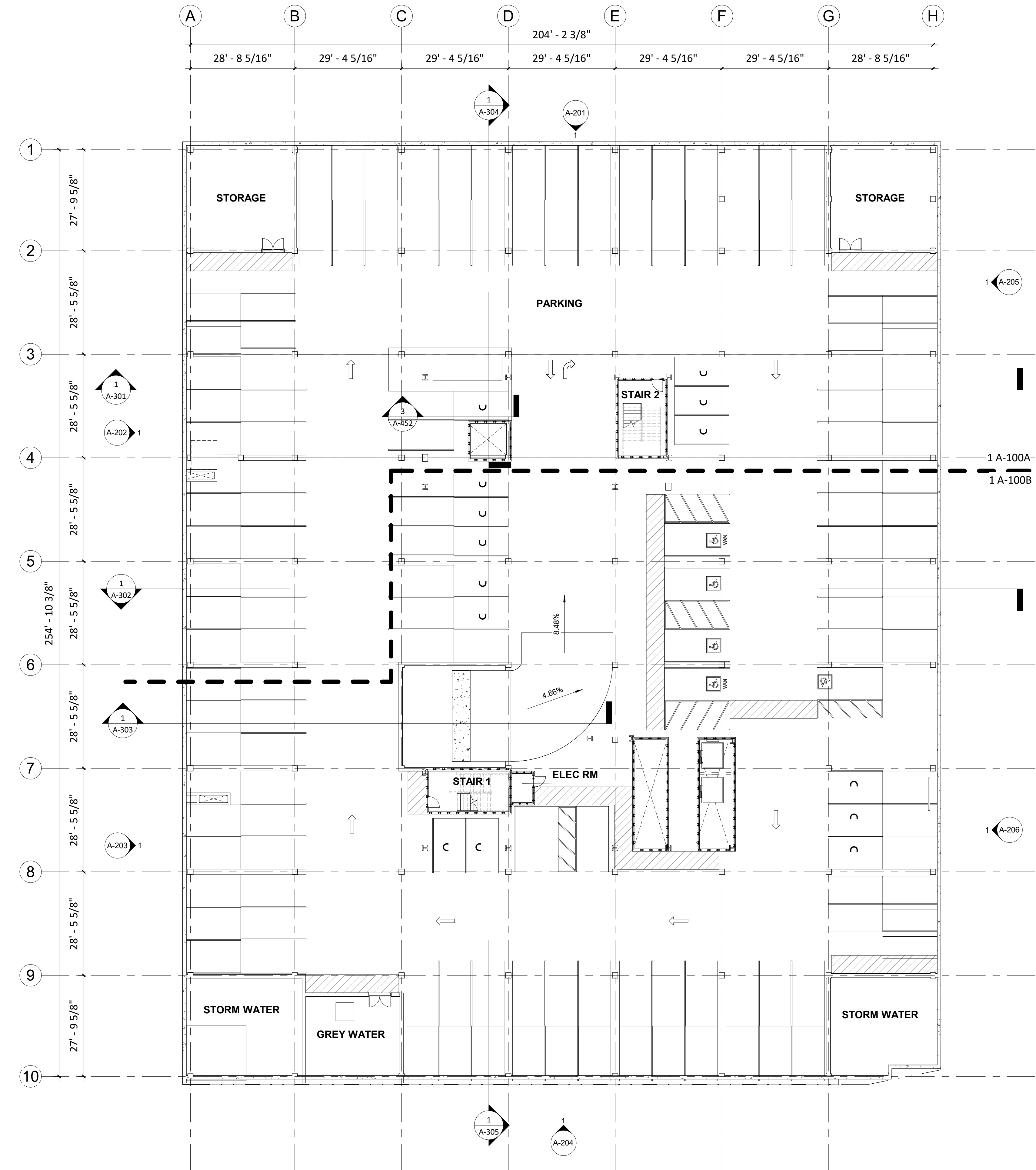
DATE
SEPTEMBER 04, 2019

SCALE
As indicated

DRAWING TITLE
SITE PLAN

SHEET NUMBER

A-060



1 PARKING LEVEL OVERALL FLOOR PLAN
1/16" = 1'-0"

GENERAL NOTES - PLAN

- A. REFERENCE CIVIL DRAWINGS FOR GRADING AND HORIZONTAL CONTROL DRAWINGS.
- B. REF LANDSCAPE DRAWINGS FOR ALL SITE MATERIALS, LAYOUT, AND ACCESS COMPLIANCE SITE/PATH OF TRAVEL DRAWINGS.
- C. REFERENCE A-001 FOR ABBREVIATIONS, SYMBOLS AND GENERAL DIMENSIONING NOTES.
- D. REF A-010 SERIES DRAWINGS FOR ALL WALL TYPE DETAILS AND FIRE-RATED ASSEMBLIES. IF WALL TYPE IS NOT NOTED IN THE PLAN THEN THE WALL TYPE SHALL BE
- E. REF A-017 SERIES DRAWINGS FOR TYPICAL METAL STUD FRAMING DETAILS AND GUIDELINES.
- F. REF G-100 SERIES DRAWINGS FOR CODE SUMMARIES AND EXTENT OF FIRE-RATED CONSTRUCTION.
- G. REF A-600 DRAWINGS FOR EXTERIOR FRAME TYPES.
- H. REF A-620 DRAWINGS FOR INTERIOR FRAME TYPES.

Parking Schedule		
Family	Type	Count
Parking Space - ADA	9' x 18' (5' Aisle)	1
9' x 18' (5' Aisle): 1		1
Parking Space - ADA	9' x 18' (8' Aisle)	3
9' x 18' (8' Aisle): 3		3
Tandem Parking Stall	Compact 7'6" x 15' (without symbol)	7
Compact 7'6" x 15' (without symbol): 7		7
Tandem Parking Stall	Compact 8' x 15'	7
Compact 8' x 15': 7		7
Tandem Parking Stall	Compact 9' x 15'	7
Compact 9' x 15': 7		7
Parking Space - ADA	EV-A 9' x 18' (5' Aisle)	1
EV-A 9' x 18' (5' Aisle): 1		1
HA_32_ Parking Stall	EV-VA 12' x 18'	1
EV-VA 12' x 18': 1		1
Parking Space	Full 8' x 18'	5
Full 8' x 18': 5		5
Parking Space	Full 9' x 18'	59
Full 9' x 18': 59		59
Tandem Parking Stall	Tandem 9' x 15' without symbol	62
Tandem 9' x 15' without symbol: 62		62
Grand total		153

- SHEET NOTES:
- SEE G-002 FOR PARKING REQUIREMENTS
 - PER D4D TABLE 5.4.1. MAXIMUM PARKING PERMITTED:
 - OFFICE - 1 SPACE PER 1,500 SF OF GROSS FLOOR AREA (242,300 GSF/1,500 SF = 162 MAXIMUM SPACES ALLOWED)

ARCHITECTS

HACKER

733 SW Oak, Portland, OR 97205

QA

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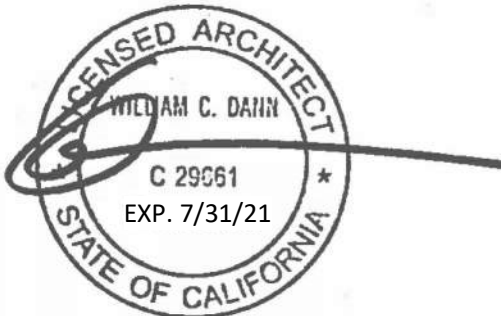
CONSULTANT

Mayor ED 17-02
Priority permit

SITE PERMIT

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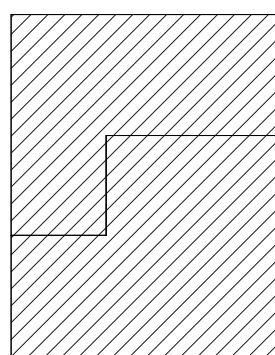
STAMP



REVISION NO.

DATE

KEY PLAN - (NTS)



TRUE NORTH PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
SITE PERMIT

PROJECT NUMBER
1830

DATE
SEPTEMBER 04, 2019

SCALE
As indicated

DRAWING TITLE
PARKING LEVEL OVERALL
FLOOR PLAN

SHEET NUMBER

A-100

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

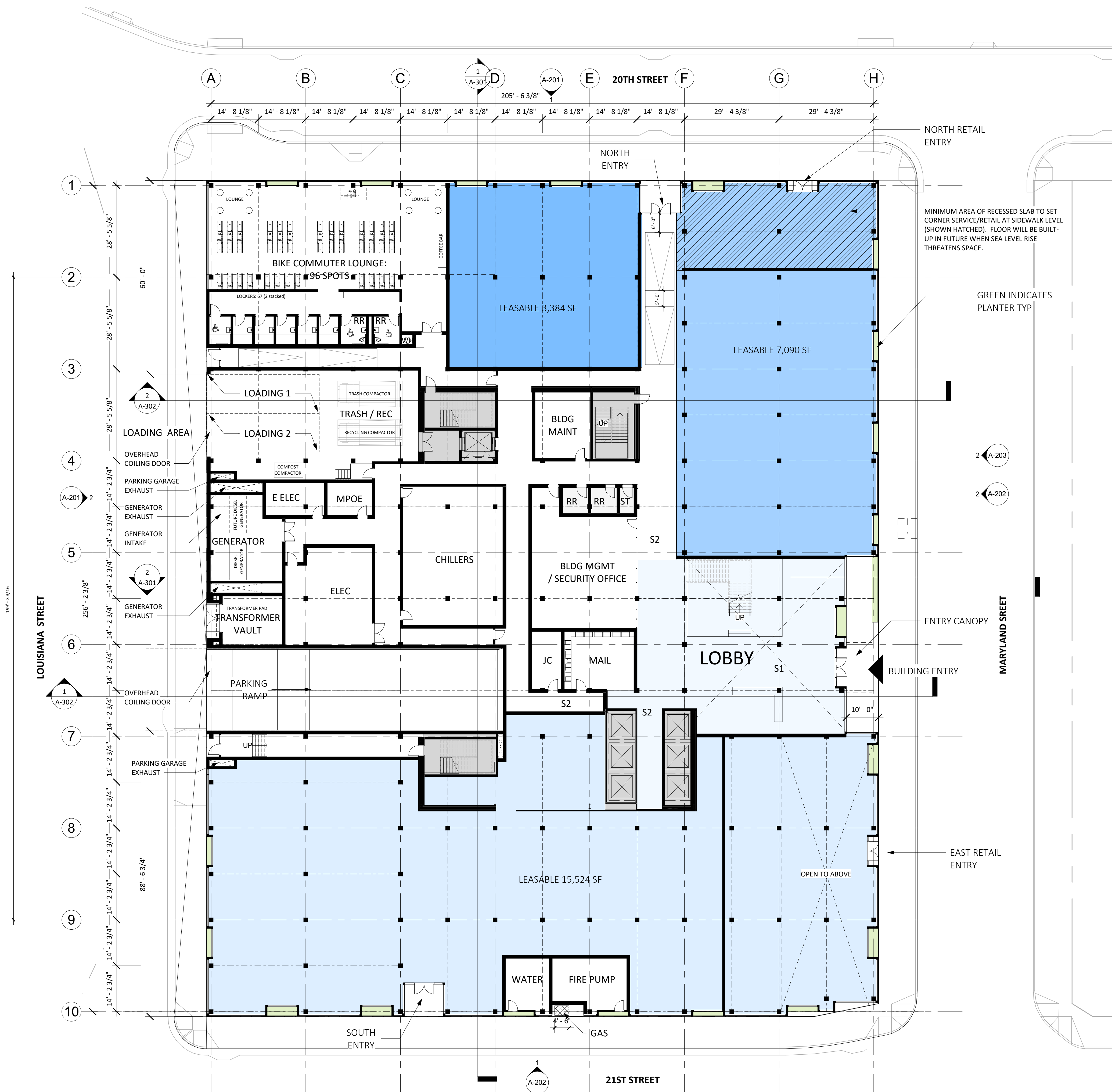
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
LEVEL 1 FLOOR PLAN

SHEET NUMBER

A-101



1 1ST FLOOR
A-101 1/16" = 1'-0"

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

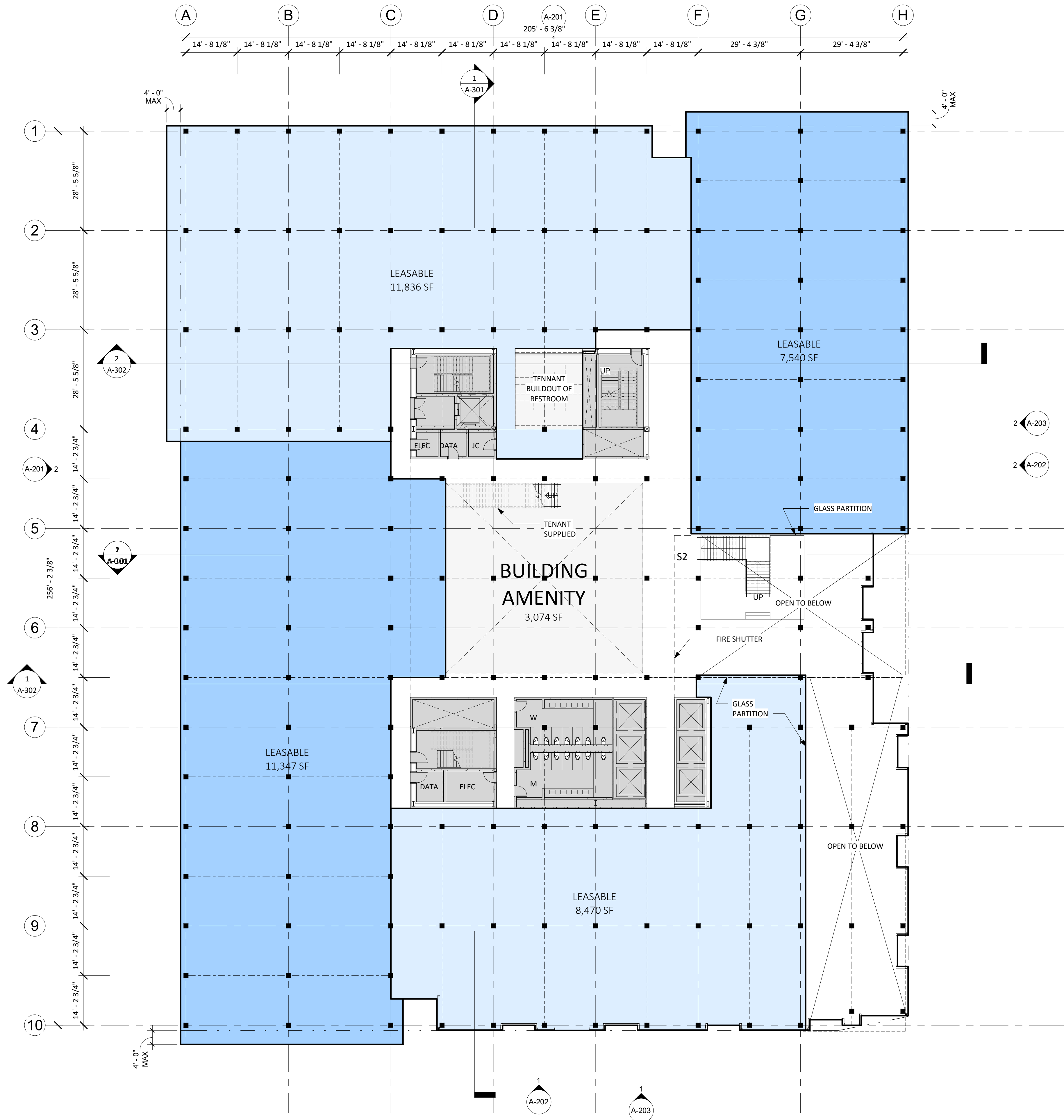
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
LEVEL 2 FLOOR PLAN

SHEET NUMBER

A-102



1 2ND FLOOR
A-102 1/16" = 1'-0"

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

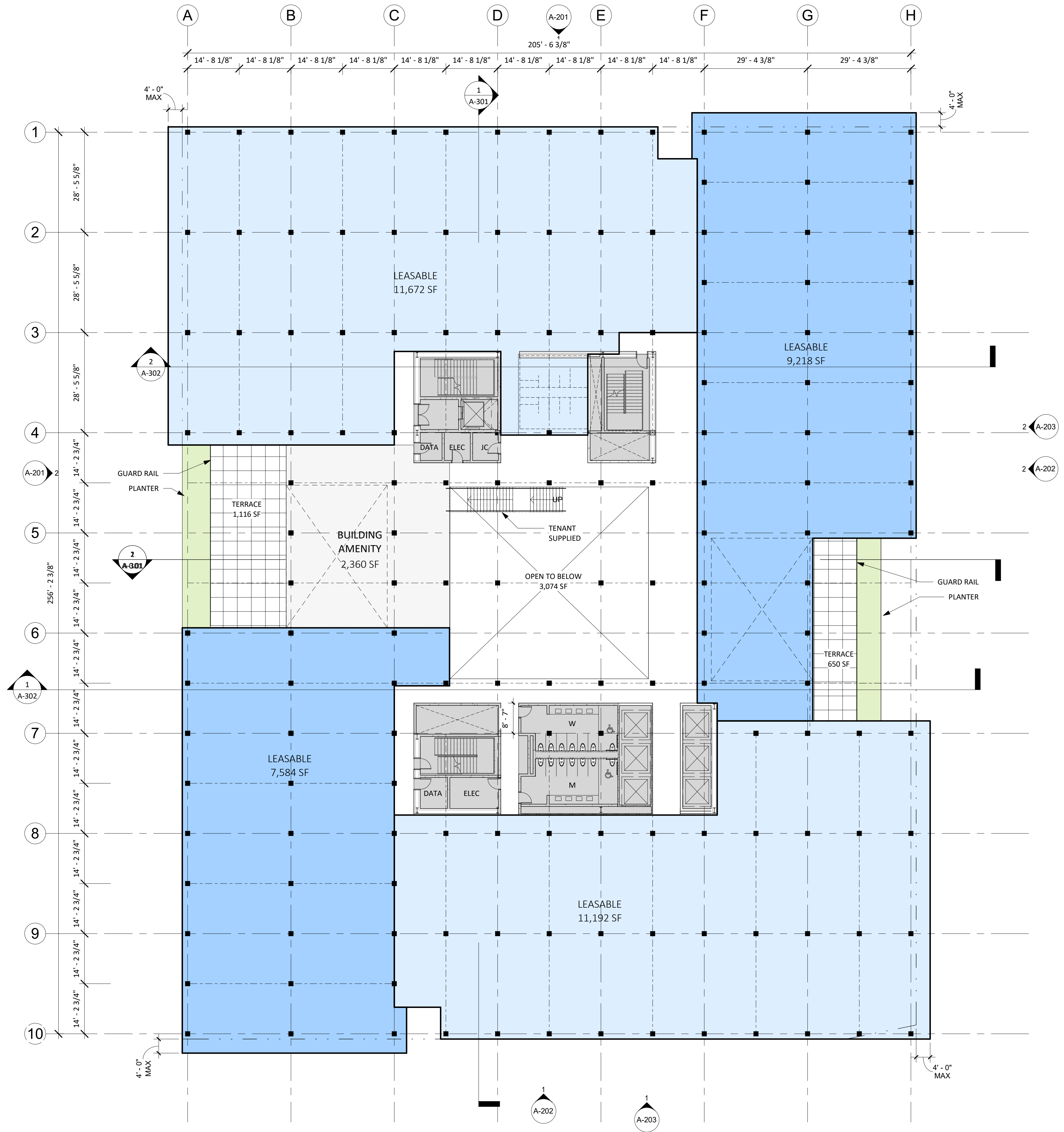
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
LEVEL 3 FLOOR PLAN

SHEET NUMBER

A-103



1 3RD FLOOR
A-103 1/16" = 1'-0"

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

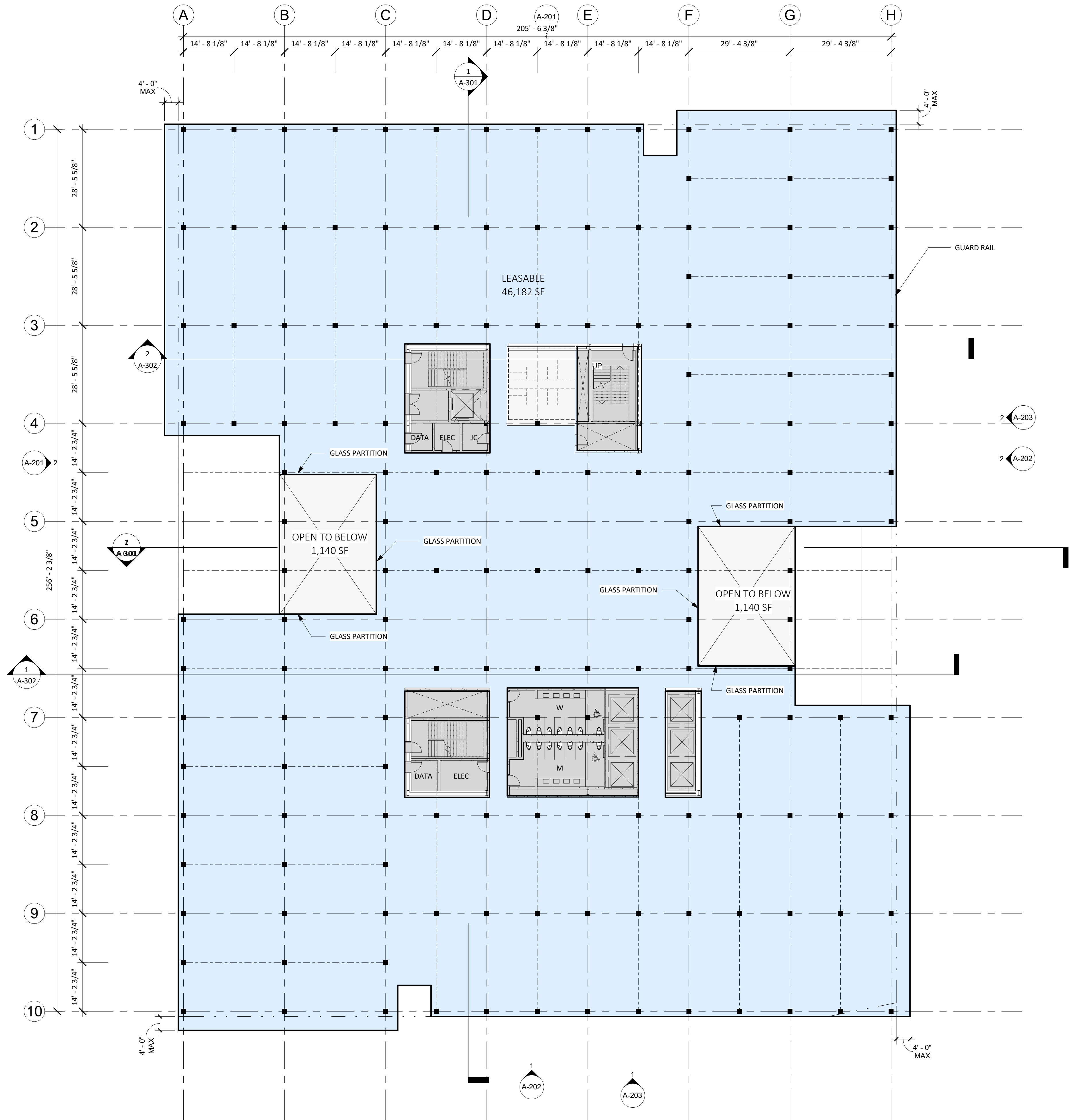
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
LEVEL 4 FLOOR PLAN

SHEET NUMBER

A-104



1 4TH FLOOR
A-104 1/16" = 1'-0"

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

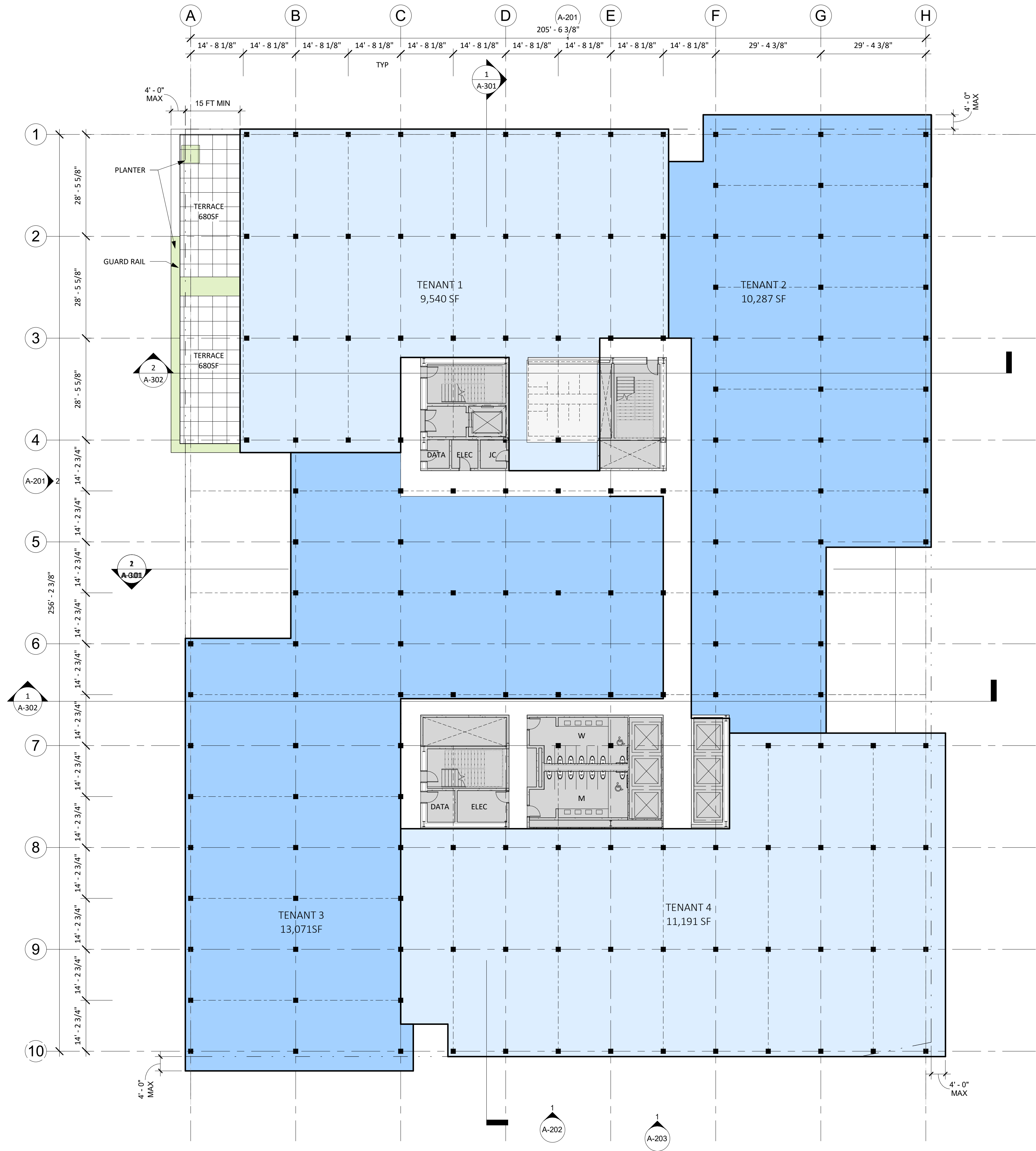
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
LEVEL 5 FLOOR PLAN

SHEET NUMBER

A-105



1 5TH FLOOR
A-105 1/16" = 1'-0"

ARCHITECTS

HACKER

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QA

639 FRONT ST, SAN FRANCISCO, CA 94111

CONSULTANT

Mayor ED 17-02
Priority permit

STAMP

NOT FOR
CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

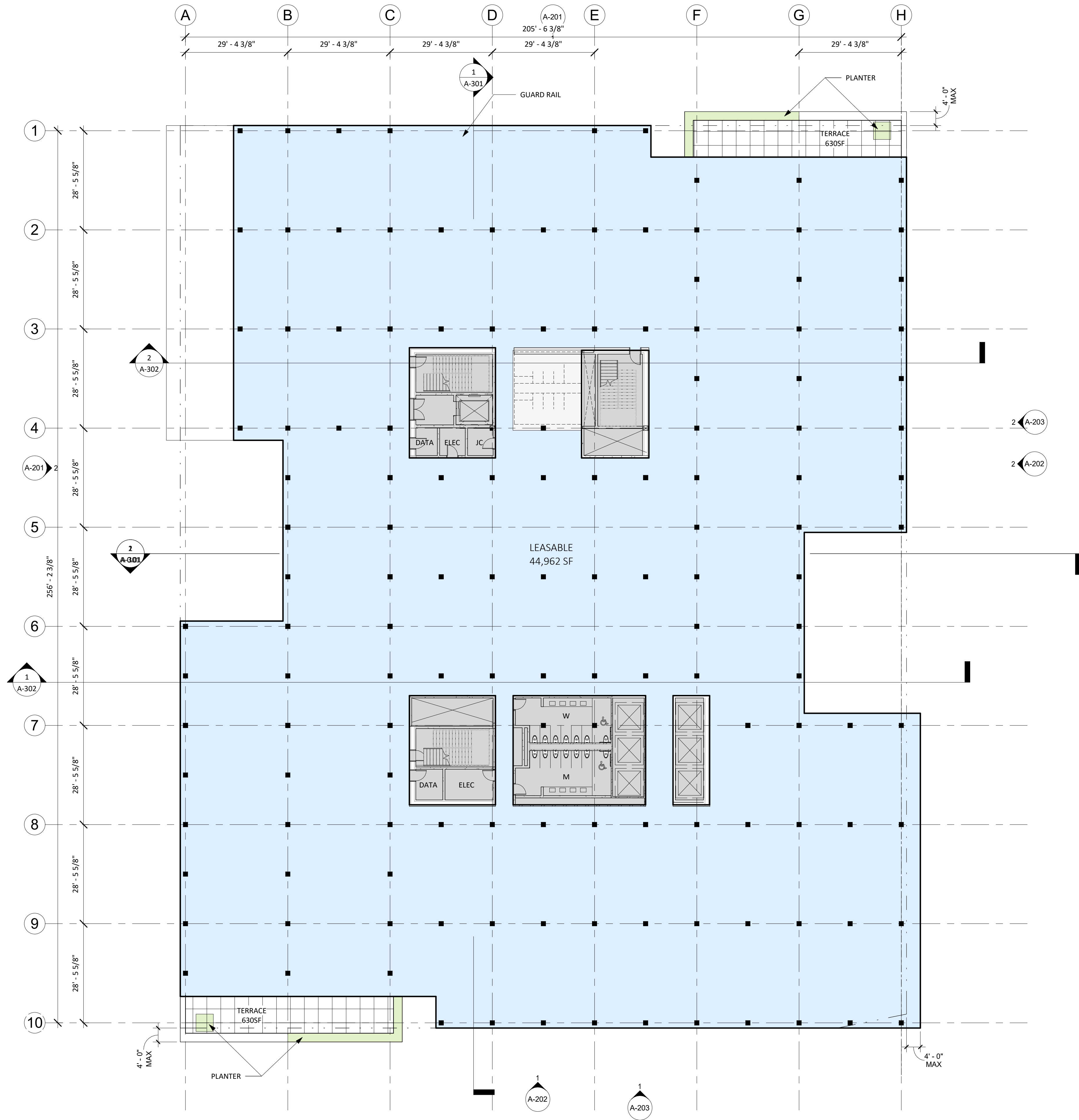
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
LEVEL 6 FLOOR PLAN

SHEET NUMBER

A-106



1 6TH FLOOR
A-106/ 1/16" = 1'-0"

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PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

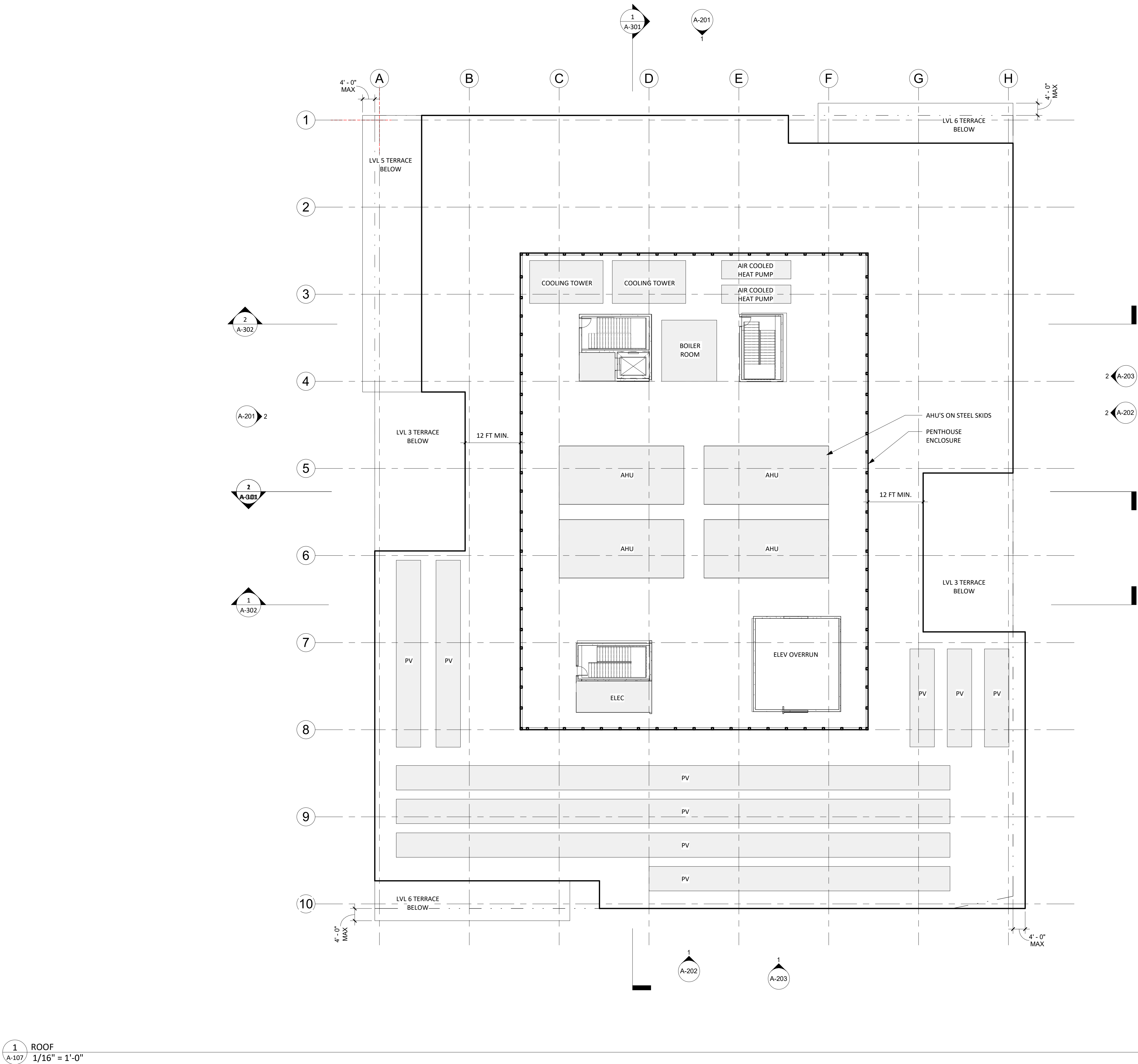
DATE
JULY 12, 2019

SCALE
1/16" = 1'-0"

DRAWING TITLE
ROOF PLAN

SHEET NUMBER

A-107



1 ROOF
A-107/ 1/16" = 1'-0"

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KEY PLAN - (NTS)

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE
3/32" = 1'-0"

DRAWING TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A-201

MATERIAL LEGEND



MTL CLADDING 1
DARK GRAY/BLACK SIMULATED BLACKENED STEEL
BASIS OF DESIGN:
PURE+FREEFORM



MTL CLADDING 2
DARK BRONZE
BASIS OF DESIGN WALLS:
AEP SPAN PRESTIGE SERIES, FLAT - NO REVEAL
BASIS OF DESIGN MECHANICAL SCREEN:
SAME AS ABOVE, 40% PERFORATED
OVERHEAD DOORS AND LOUVERS TO MATCH



WINDOW SYS
DARK BRONZE MULLIONS, LOW-E GLAZING, AND
SPANDREL GLASS
BASIS OF DESIGN WINDOW SYS:
KAWNEER 1600
BASIS OF DESIGN SPANDREL GLASS:
OPACI-COAT



BOARD FORM CONCRETE PLINTH



Mayor ED 17-02
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CONSTRUCTION

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DATE

KEY PLAN - (NTS)

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE
3/32" = 1'-0"

DRAWING TITLE
EXTERIOR ELEVATIONS

SHEET NUMBER

A-202

MATERIAL LEGEND



MTL CLADDING 1
DARK GRAY/BLACK SIMULATED BLACKENED STEEL
BASIS OF DESIGN:
PURE+FREEFORM



MTL CLADDING 2
DARK BRONZE
BASIS OF DESIGN WALLS:
AEP SPAN PRESTIGE SERIES, FLAT - NO REVEAL
BASIS OF DESIGN MECHANICAL SCREEN:
SAME AS ABOVE, 40% PERFORATED
OVERHEAD DOORS AND LOUVERS TO MATCH



WINDOW SYS
DARK BRONZE MULLIONS, LOW-E GLAZING, AND
SPANDREL GLASS
BASIS OF DESIGN WINDOW SYS:
KAWNEER 1600
BASIS OF DESIGN SPANDREL GLASS:
OPACI-COAT



BOARD FORM CONCRETE PLINTH



1 SOUTH ELEVATION - 21ST STREET
3/32" = 1'-0"



2 EAST ELEVATION - MARYLAND STREET
3/32" = 1'-0"

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Priority permit

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KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

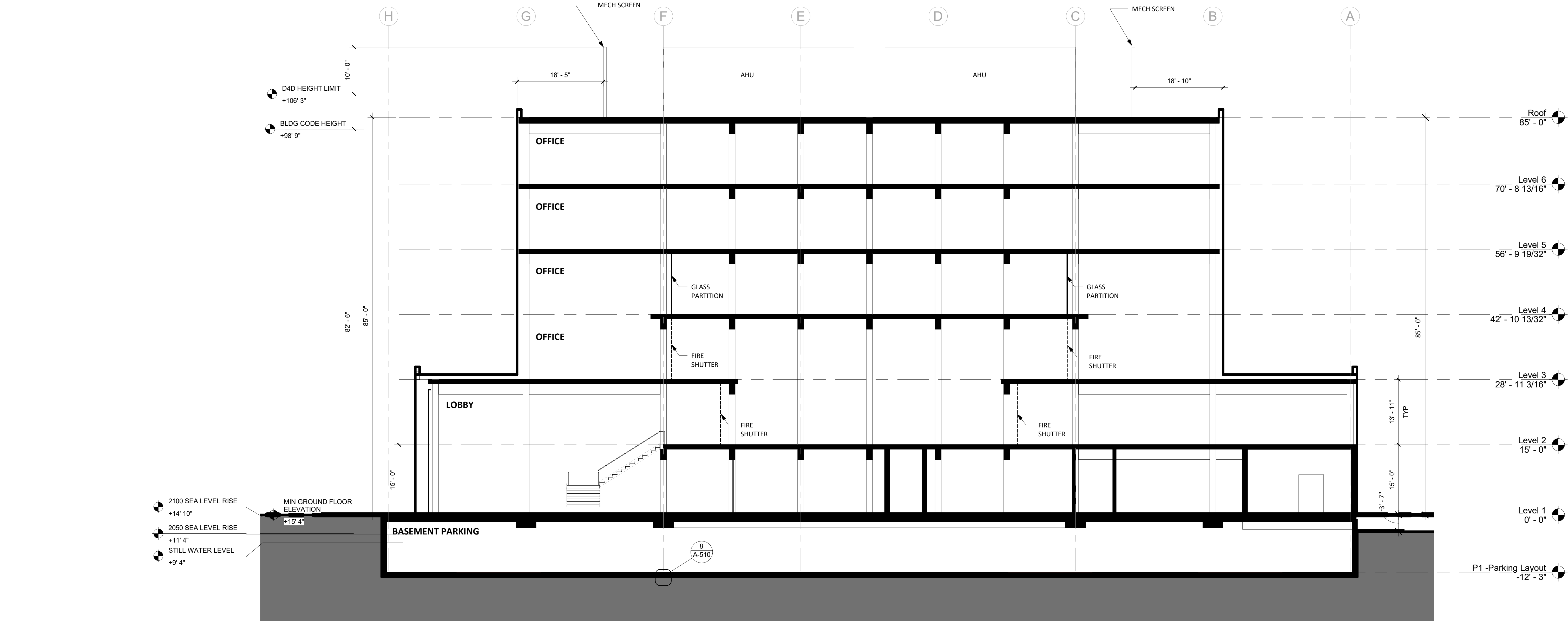
DATE
JULY 12, 2019

SCALE
3/32" = 1'-0"

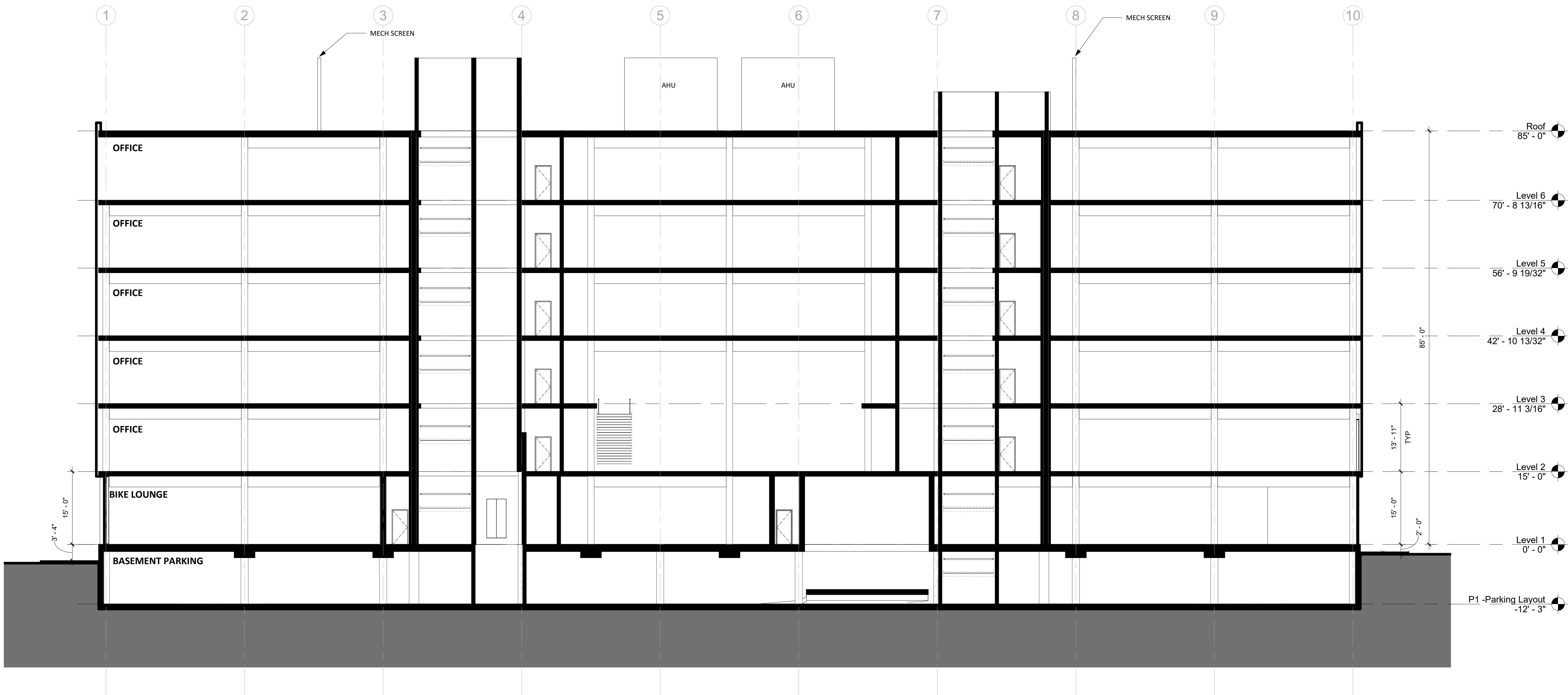
DRAWING TITLE
BUILDING SECTIONS

SHEET NUMBER

A-301



2 TRANSVERSE BLDG SECTION 50% SD
3/32" = 1'-0"



1 LONGITUDINAL BLDG SECTION - 50%
3/32" = 1'-0"

ARCHITECTS

HACKER

733 SW Oak, Portland, OR 97205

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PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

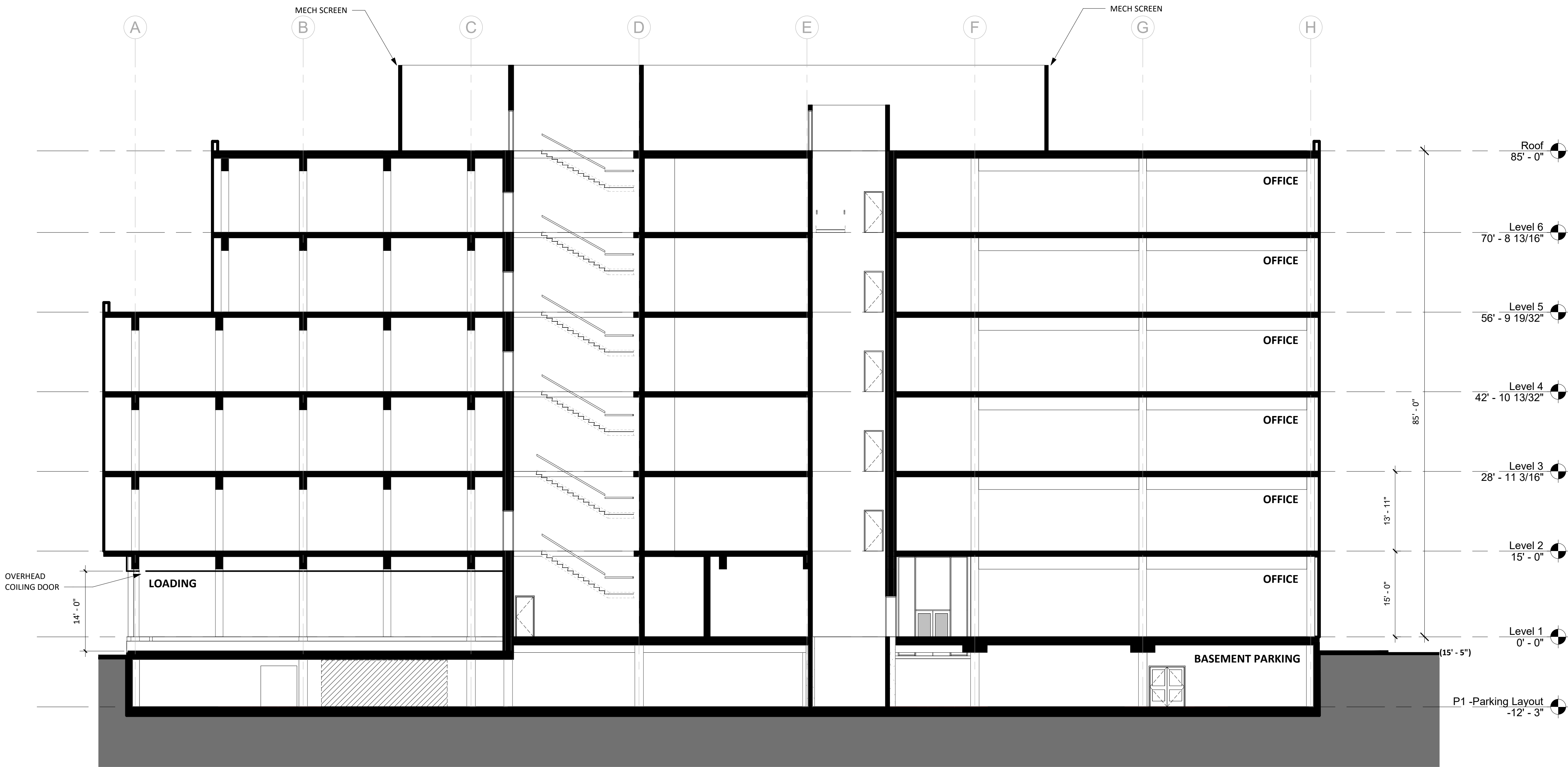
DATE
JULY 12, 2019

SCALE
3/32" = 1'-0"

DRAWING TITLE
BUILDING SECTIONS

SHEET NUMBER

A-302



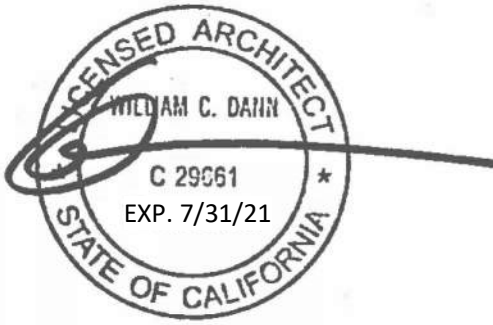
2 Section 2
A-302 / 3/32" = 1'-0"

Mayor ED 17-02
Priority permit

SITE PERMIT

THIS APPLICATION SUBMITTED FOR
SITE PERMIT ONLY. NO WORK MAY
BE STARTED UNTIL CONSTRUCTION
PLANS HAVE BEEN APPROVED.

STAMP



REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
SITE PERMIT

PROJECT NUMBER
1830

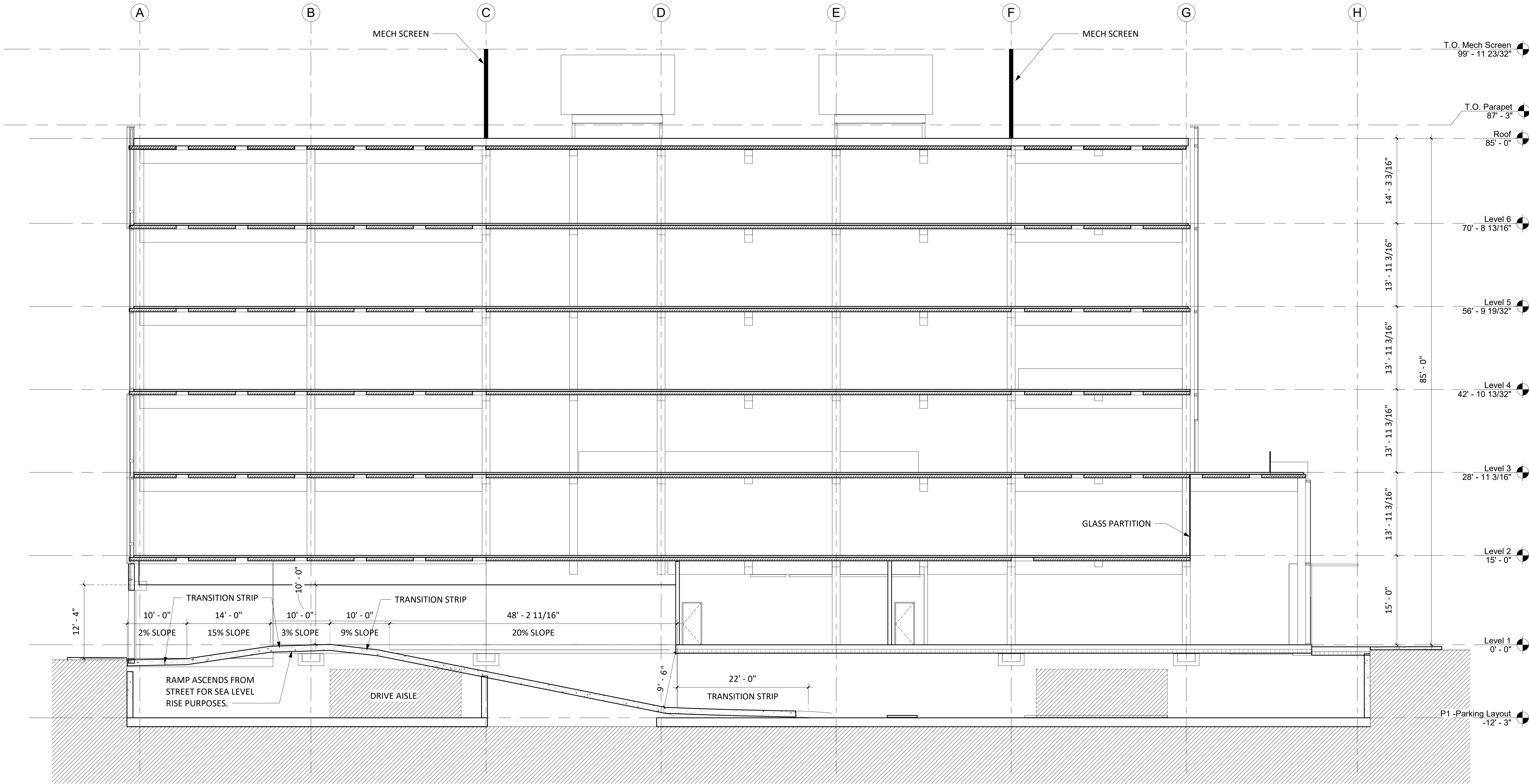
DATE
SEPTEMBER 04, 2019

SCALE
1/8" = 1'-0"

DRAWING TITLE
BUILDING SECTIONS

SHEET NUMBER

A-303



1 E-W BLDG SECTION GRID 6
A-303 1/8" = 1'-0"

ARCHITECTS

HACKER

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CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

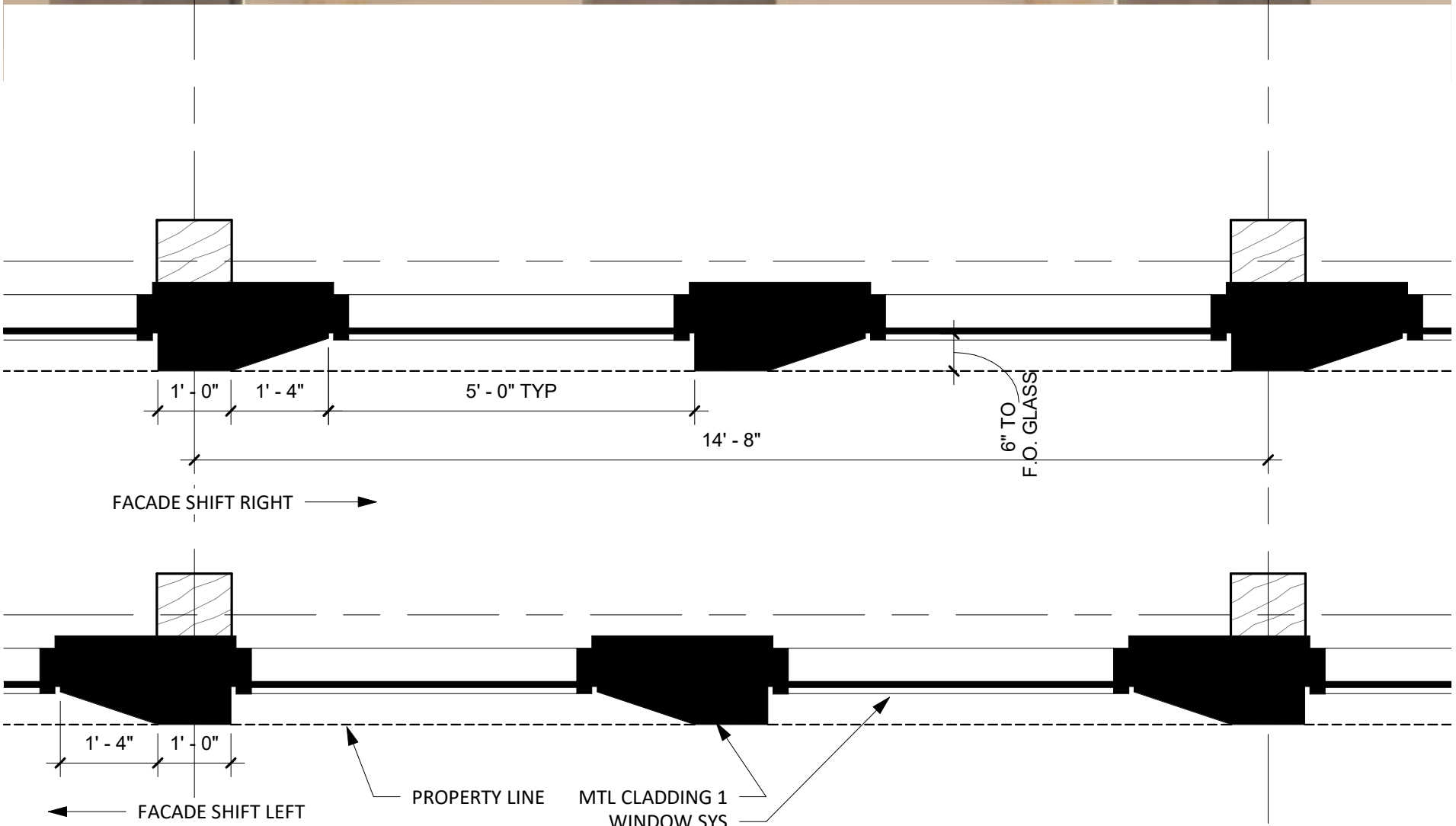
DATE
JULY 12, 2019

SCALE
1/2" = 1'-0"

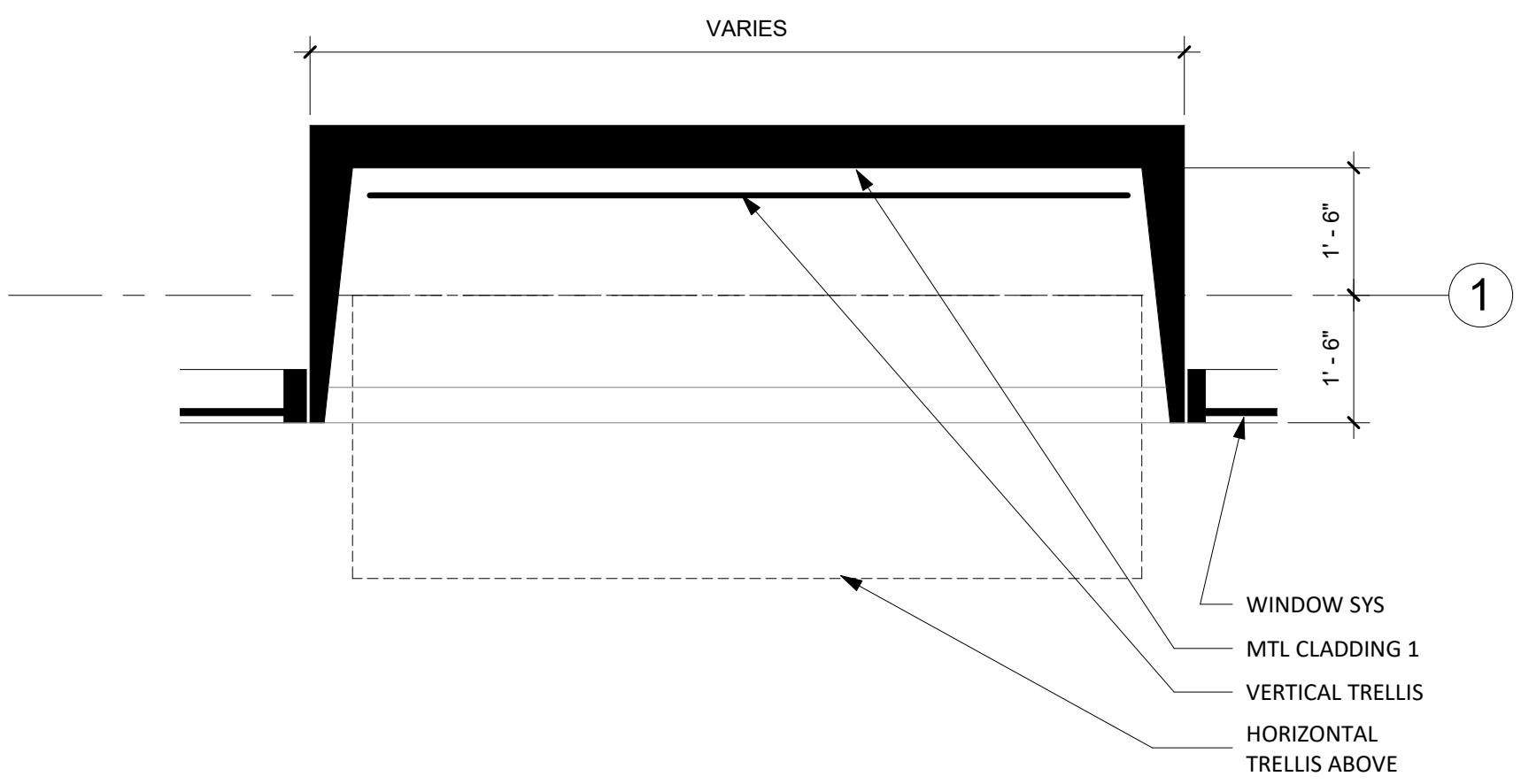
DRAWING TITLE
ENLARGED PLANS

SHEET NUMBER

A-310.1



1 PLAN DETAIL - METAL CLADDING
1/2" = 1'-0"



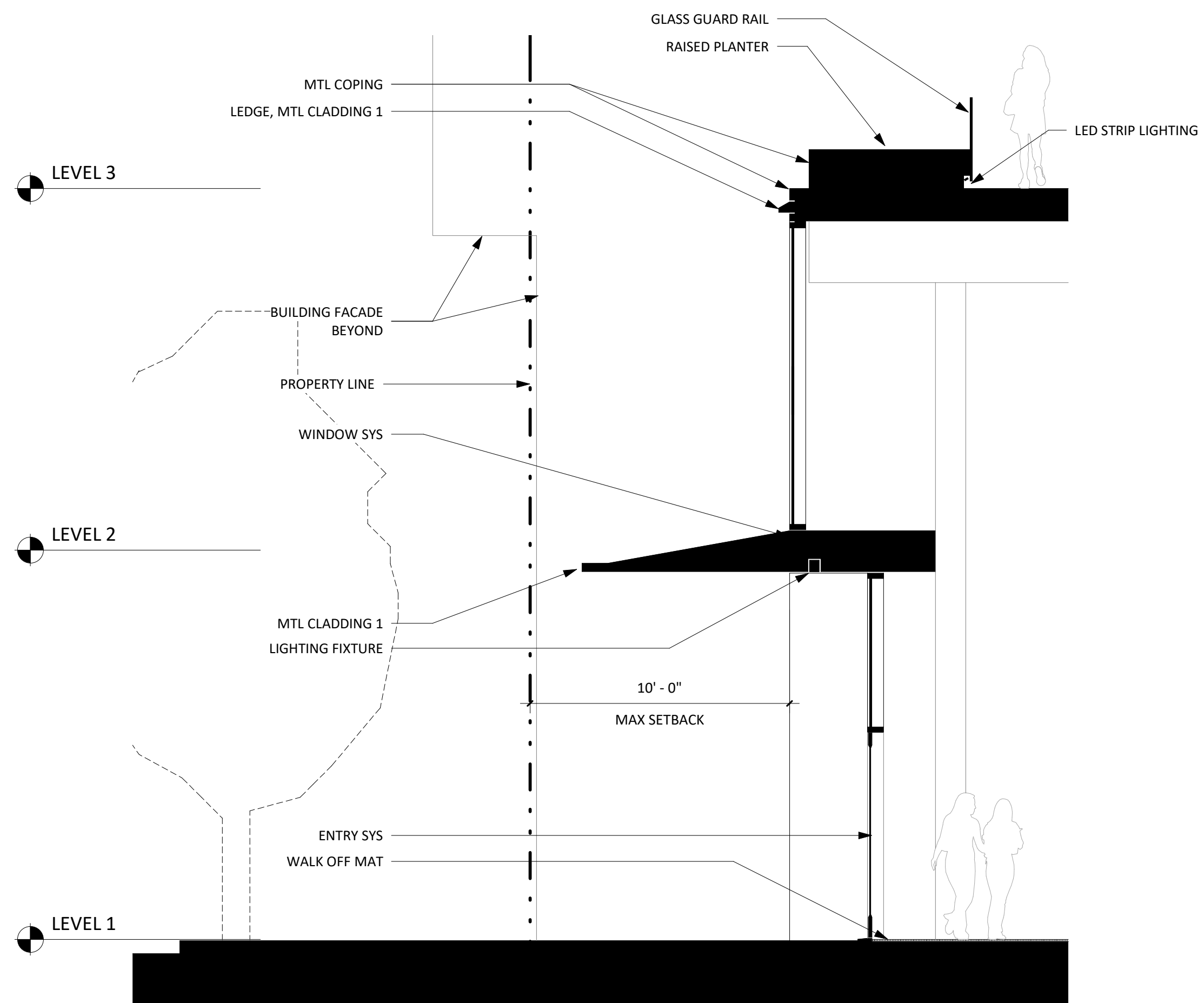
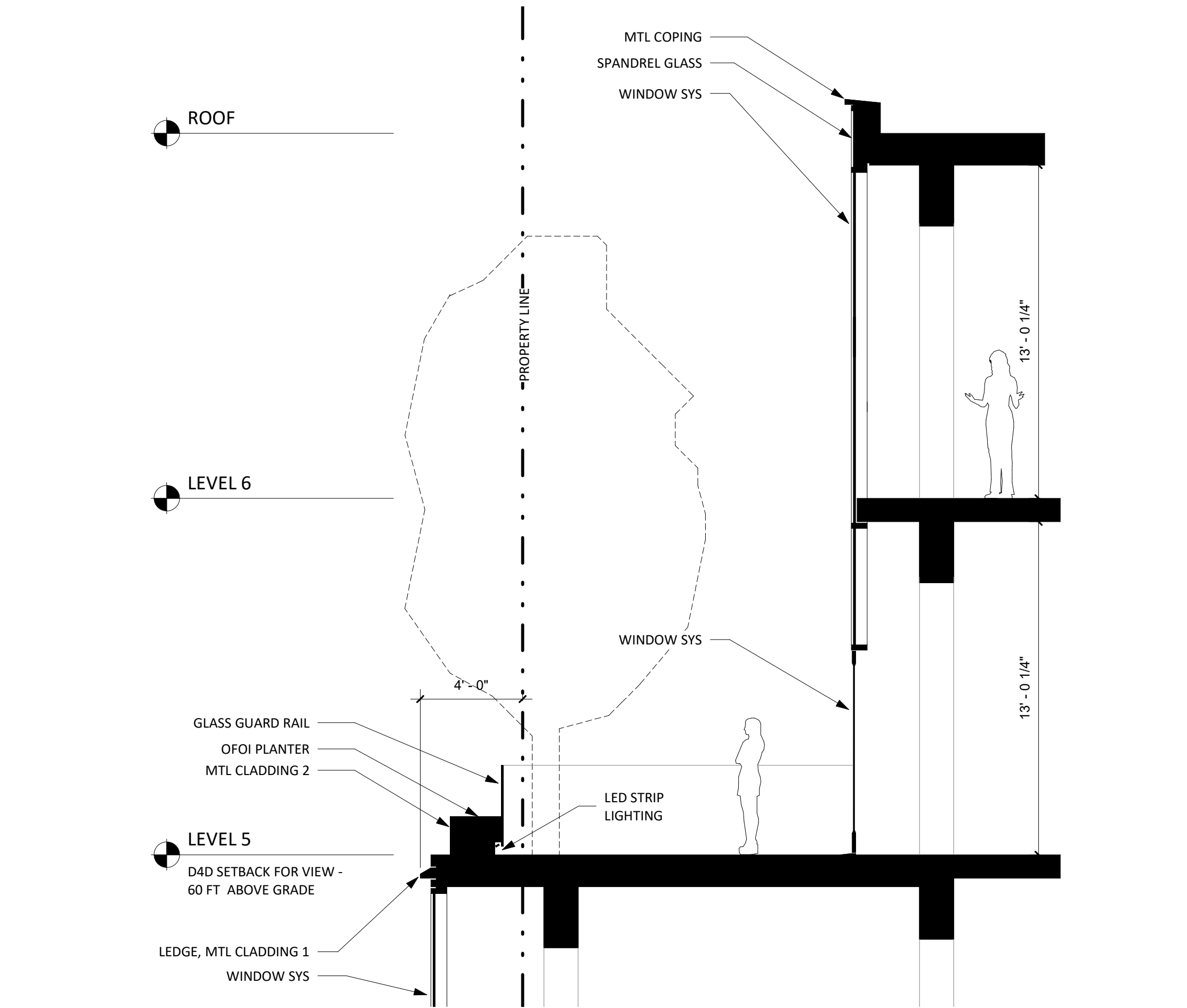
2 PLAN DETAIL - PLANTER AT GROUND FLOOR NICHE
1/2" = 1'-0"



1 UPPER TERRACE - TYPICAL
1/4" = 1'-0"



2 MARYLAND ST BUILDING ENTRY
1/4" = 1'-0"



ARCHITECTS

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CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE NORTH PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE
1/4" = 1'-0"

DRAWING TITLE
ENLARGED SECTIONS

SHEET NUMBER

A-310.2

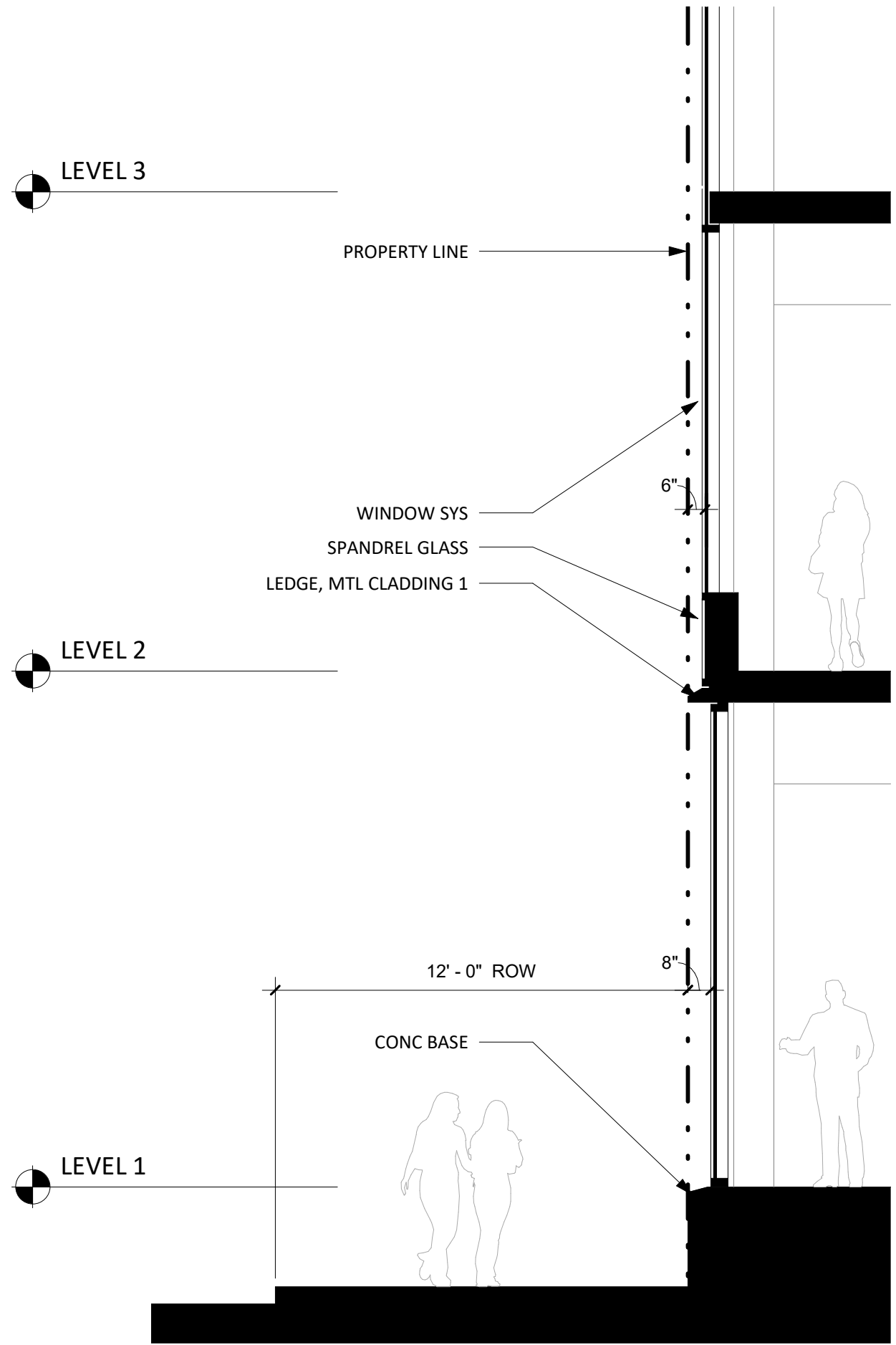
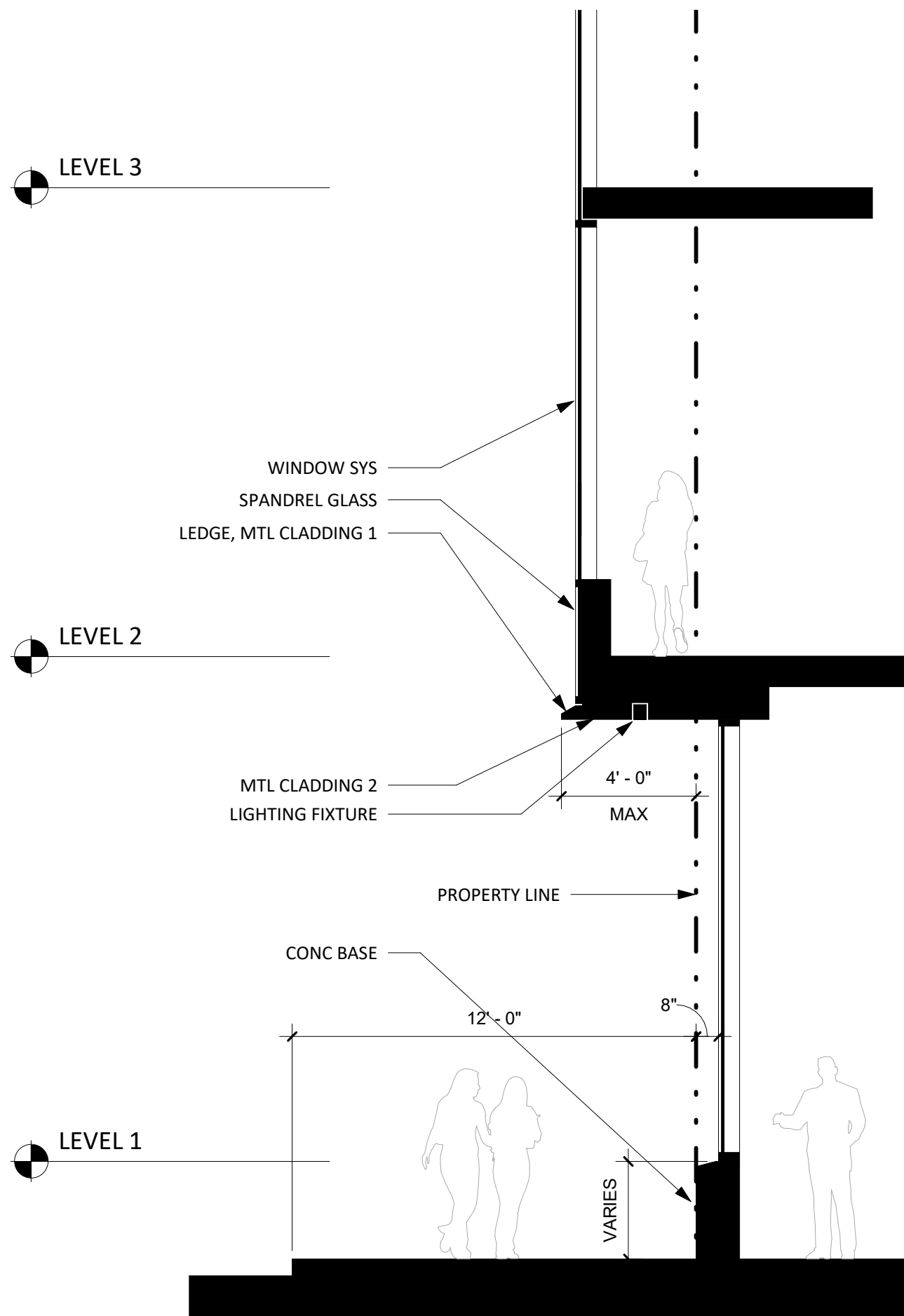
Mayor ED 17-02
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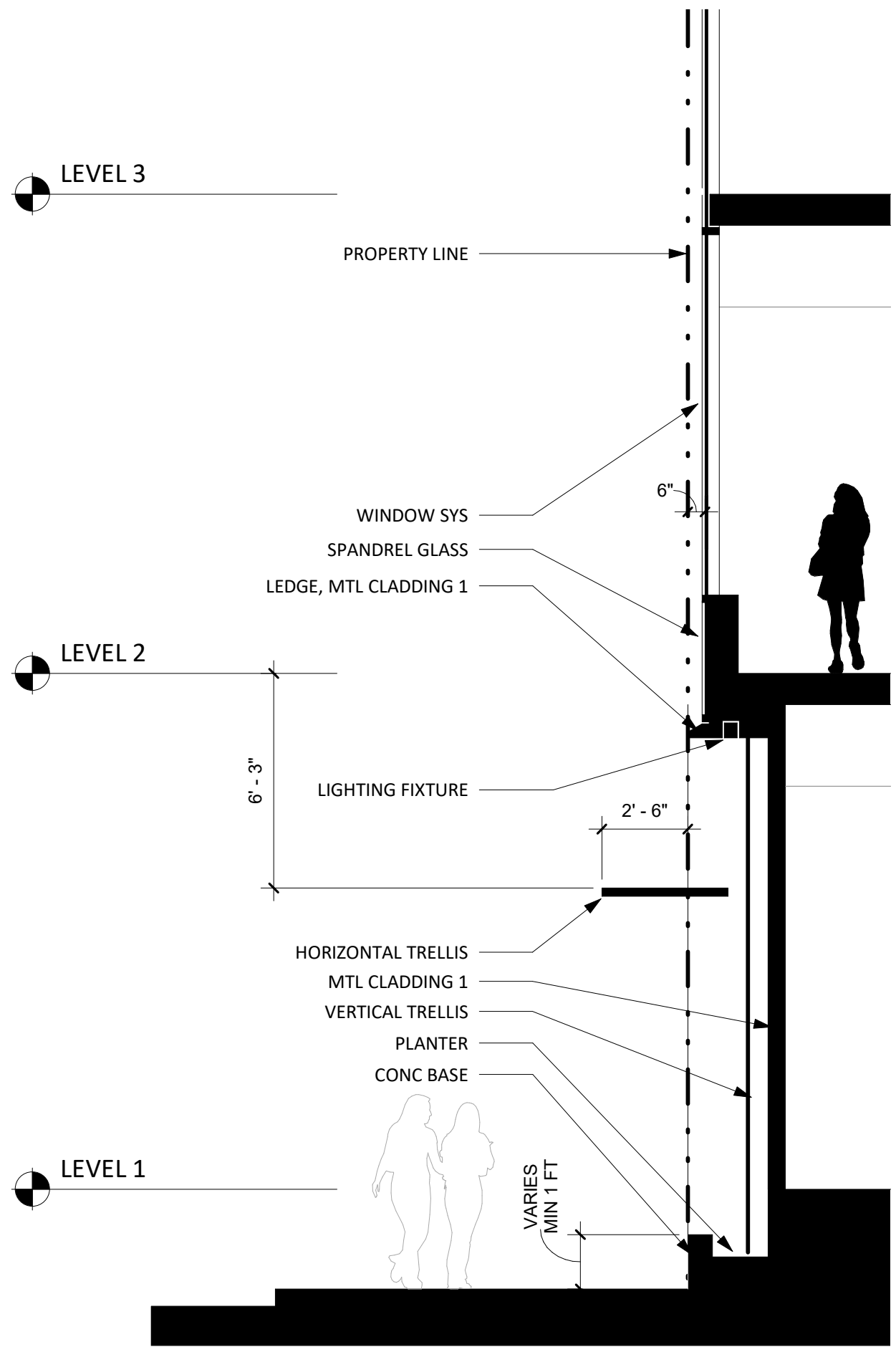
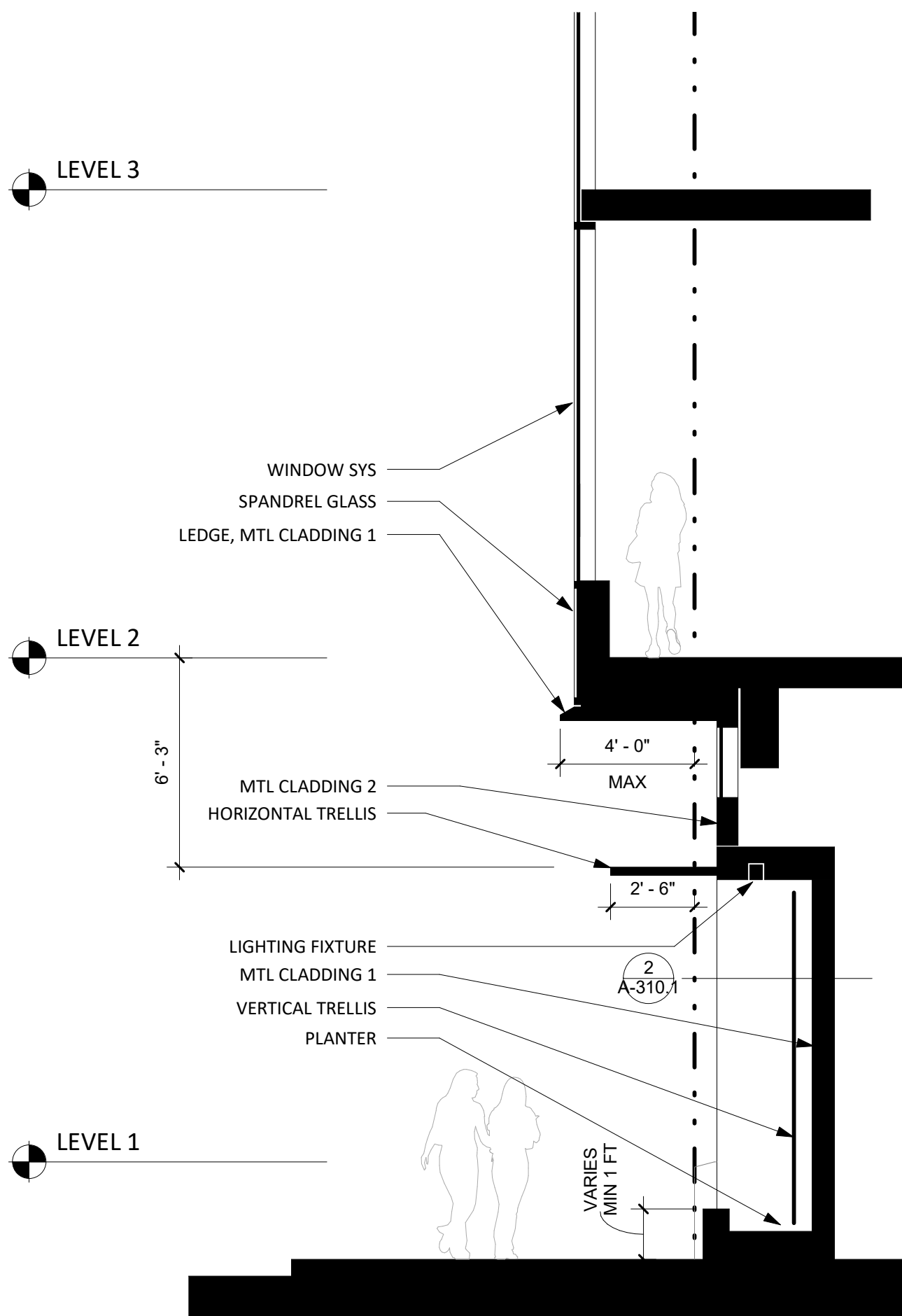
REVISION NO.

DATE



3 ROW OVERHANG GLASS - DR
A-310.3 1/4" = 1'-0"

1 ROW TYP - DR
A-310.3 1/4" = 1'-0"



4 ROW OVERHANG BENCH - DR Copy 1
A-310.3 1/4" = 1'-0"

2 ROW PLANTER TYP - DR
A-310.3 1/4" = 1'-0"

KEY PLAN - (NTS)

TRUE NORTH PLAN NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE
PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE
1/4" = 1'-0"

DRAWING TITLE
ENLARGED SECTIONS

SHEET NUMBER

A-310.3



1 VIEW FROM NW CORNER
A-601 NO SCALE



2 VIEW FROM SE CORNER
A-601 NO SCALE

ARCHITECTS

HACKER

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KEY PLAN - (NTS)



PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE
1" = 40'-0"

DRAWING TITLE
PERSPECTIVE VIEWS

SHEET NUMBER

A-601



4 VIEW FROM MARYLAND LOOKING NORTH
A-602/ NO SCALE



1 VIEW FROM 21ST LOOKING WEST
A-602/ NO SCALE



5 VIEW FROM 20TH LOOKING SOUTHWEST
A-602/ NO SCALE



2 VIEW FROM LOUISIANA LOOKING SE
A-602/ NO SCALE



6 VIEW FROM 21ST LOOKING EAST
A-602/ NO SCALE



3 VIEW FROM MARKET SQUARE LOOKING NORTH TOWARD 21ST ST
A-602/ NO SCALE

ARCHITECTS

HACKER

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STAMP

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CONSTRUCTION

REVISION NO.

DATE

KEY PLAN - (NTS)

TRUE
NORTH

PLAN
NORTH

PIER 70

Brookfield
Properties

BROOKFIELD PROPERTIES
PIER 70 PARCEL A

ISSUANCE
DESIGN REVIEW PACKAGE

PROJECT NUMBER
1830

DATE
JULY 12, 2019

SCALE
NO SCALE

DRAWING TITLE
PERSPECTIVE VIEWS

SHEET NUMBER

A-602